

An aerial night-time architectural rendering of a proposed multi-story building at 1000 West 10th Avenue. The building features a modern design with blue and red facades and numerous illuminated windows. It is situated adjacent to an existing baseball stadium, which is also shown at night with its lights on. The surrounding area includes streets with cars, trees, and other urban infrastructure, all depicted in a detailed and realistic style.

Floor	Gross Floor Area						
	Residential	Common	Amenity	Retail	Mechanical	Parking	GSF Total
B1		1,480		8,726			10,206
1		1,850	2,368	7,300	3,400	18,567	33,895
2	9,584	2,801				19,735	32,190
3	18,197	3,189	3,771				25,157
4	21,727	3,431					25,158
5	21,727	3,431					25,158
6	21,727	3,431					25,158
7	20,142	3,506	750				24,398
Mech		1,259					1,259
Total	113,114	24,238	7,509	16,026	3,400	38,292	202,579

Units										Parking
Jr Studio 1 Bath	Jr Studio HP 1 Bath	Studio 1 Bath	Studio HP 1 Bath	1BR Flat 1 Bath	1BR HP Flat 1 Bath	2BR Flat 1 Bath	2BR HP Flat 1 Bath	3BR Flat 2 Bath	3BR HP Flat 2 Bath	
										0
5		11		4						4
				15		2				5
				17						20
				17		3				27
				17		3				32
				17		3				32
				17		3				32
				17		2				30
										0
5	-	68	-	87	-	13	-	-	-	173
3%	0%	39%	0%	50%	0%	8%	0%	0%	0%	
3%		39%		50%		8%				

Height in feet
17
10
13
10.67
10.67
10.67
12

84.01

SHEET LIST - PRESENTATION	
SHEET NUMBER	SHEET NAME
001 - TITLE SHEETS	
T0.01	PROJECT COVER
004 - CIVIL DRAWINGS	
V100	EXISTING CONDITIONS PLAN OF LAND
C100	LAYOUT & MATERIALS PLAN
C101	GRADING & DRAINAGE PLAN
C102	UTILITY PLAN
C200	CIVIL DETAILS

006 - LANDSCAPE DRAWINGS	
L1.00	MATERIALS PLAN - STREETSCAPE
L1.01	PLANTING PLAN - STREETSCAPE
L1.02	STREETSCAPE DETAILS
L2.00	MATERIALS PLAN - 3RD FLOOR AMENITY TERRACE
L2.01	PLANTING PLAN - 3RD FLOOR AMENITY TERRACE
L3.00	7TH FLOOR AMENITY TERRACE
L4.00	ROOF LEVEL AMENITY TERRACE
L5.00	STREETSCAPE RENDERING PLAN
L6.01	3RD FLOOR AMENITY TERRACE PLAN RENDERING
L6.02	7TH FLOOR AMENITY TERRACE PLAN RENDERING
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008 - ARCHITECTURAL - 1.00 OVERALL PLANS	
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A1.03	OVERALL FLOOR PLANS
A1.04	OVERALL FLOOR PLANS

008 - ARCHITECTURAL - 4.00 ELEVATIONS	
A4.01	EXTERIOR ELEVATIONS
A4.02	EXTERIOR ELEVATIONS
A4.03	EXTERIOR VIEWS
A4.04	EXTERIOR VIEWS

PROJECT CONTACT INFORMATION :

ELECTRICAL ENGINEER

PHONE #:

FAX #:

T0.01

tat

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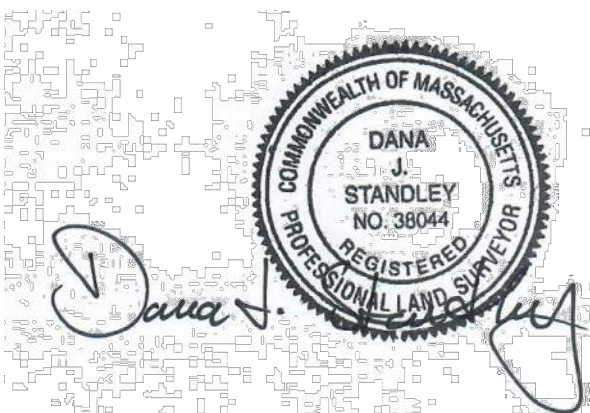
BSC GROUP

803 Summer Street
Boston, Massachusetts
02127

617 896 4300

Revision:

Architect of Record:



Drawn: BEC

Checked: DRR

Scale: 1" = 20'

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

EXISTING CONDITIONS
PLAN OF LAND

Project Number:

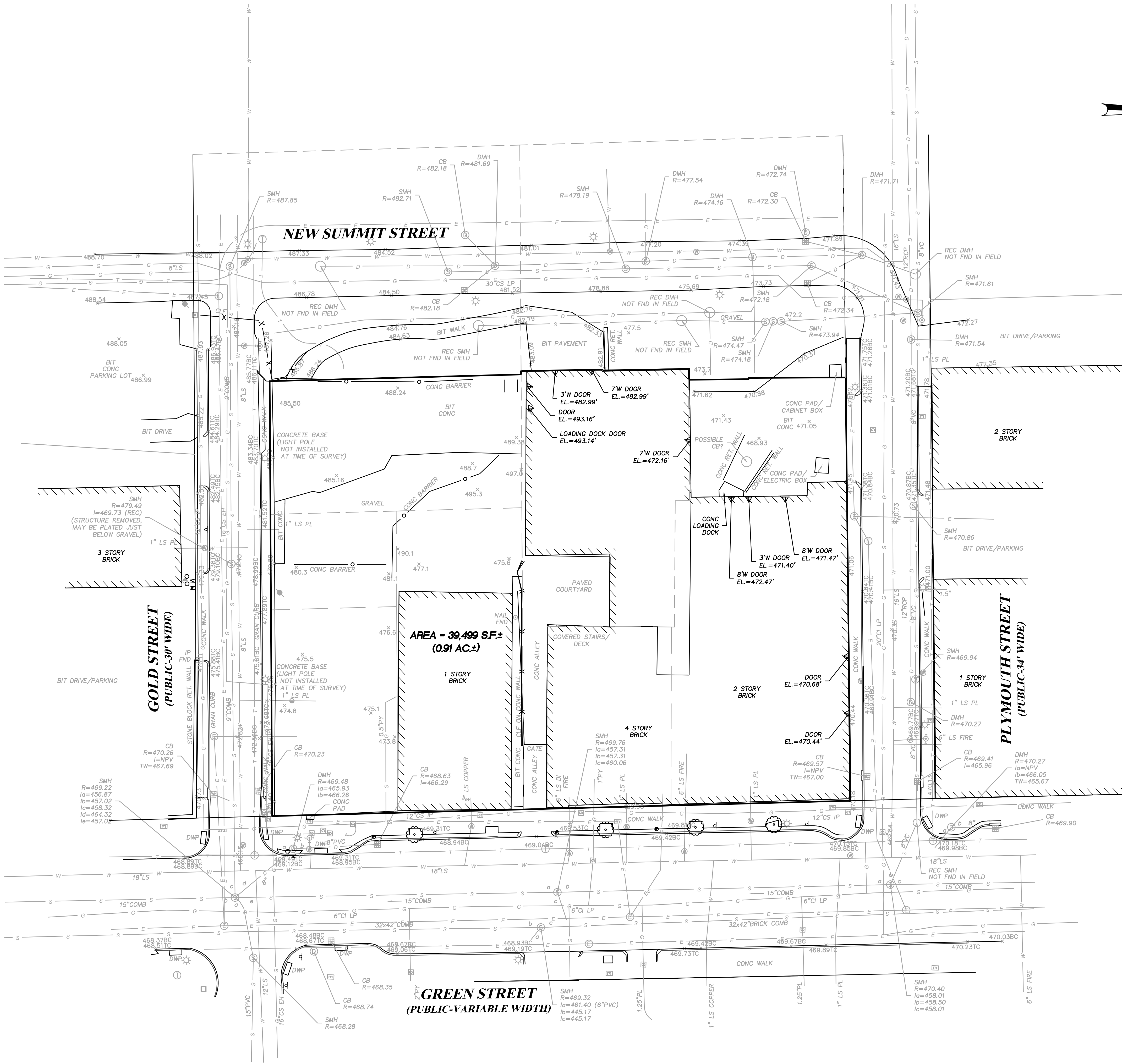
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12.17.21

Sheet Number:

V100



LEGEND

- BIT BITUMINOUS
- BUILDING
- CATCH BASIN
- CHAIN LINK FENCE
- CONC CONCRETE
- CONCRETE BARRIER
- DECIDUOUS TREE
- DWP DIGITAL WARNING PAD FOR WHEEL CHAIR RAMP
- DOOR
- DRAIN MANHOLE
- ELECTRIC HANDHOLE
- ELECTRIC MANHOLE
- GAS GATE
- GAS METER
- GRANITE
- HYDRANT
- POLYVINYL CHLORIDE
- LIGHT POLE
- NAIL
- PARKING METER
- REINFORCED CONCRETE PIPE
- SEWER MANHOLE
- SEWER
- SPOT GRADE
- STONE BOUND
- STONE BOUND W/DRILL HOLE
- TELEPHONE MANHOLE
- TOP CURB/BOTTOM CURB
- UTILITY POLE
- WATER GATE
- ONE FOOT CONTOUR
- FIVE FOOT CONTOUR
- UNDERGROUND DRAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND SEWER
- UNDERGROUND TELEPHONE
- UNDERGROUND WATER

GENERAL NOTES

- THE EXISTING CONDITIONS SHOWN HEREON DEPICT THE SUBJECT SITE AS IT APPEARED DURING A FIELD SURVEY CONDUCTED BY BSC GROUP, INC. BETWEEN SEPTEMBER 28, 2020 AND DECEMBER 14, 2020..
- THE ABOVE MENTIONED FIELD SURVEY IS BASED ON NAD 1983 HORIZONTAL AND NAVD 1988 VERTICAL DATUM (TEMPORARY BENCH MARKS (TBM) SET) AS DERIVED FROM GPS OBSERVATIONS MADE AT THE TIME OF THE SURVEY.
- THE UTILITIES SHOWN ON THIS PLAN ARE TAKEN FROM LOCATIONS OF SURFACE STRUCTURES AND SUBSURFACE INVERT MEASUREMENTS (WHERE INDICATED) DURING THE AFOREMENTIONED SURVEY BY BSC GROUP, INC. AND ALSO RECORD INFORMATION SUPPLIED BY THE CLIENT.

TABLE OF BOUNDARY COURSES (SEE PLAN)

L1	N 87°44'06" E	0.50'
L2	S 2°35'53" E	23.86'
L3	S 87°34'50" W	4.22'
L4	S 3°04'24" E	34.30'
L5	S 86°55'37" W	0.50'
L6	S 3°04'23" E	32.28' (32.27' REC)
L7	N 87°40'38" E	1.35'

UTILITY NOTE

EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40. AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

OWNERS:

SEE PLAN FOR PARCEL OWNER INFORMATION

SCALE: 1" = 20'

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85 GREEN STREET
WORCESTER, MA

Sheet Name:

LAYOUT &
MATERIALS PLAN

Project Number:

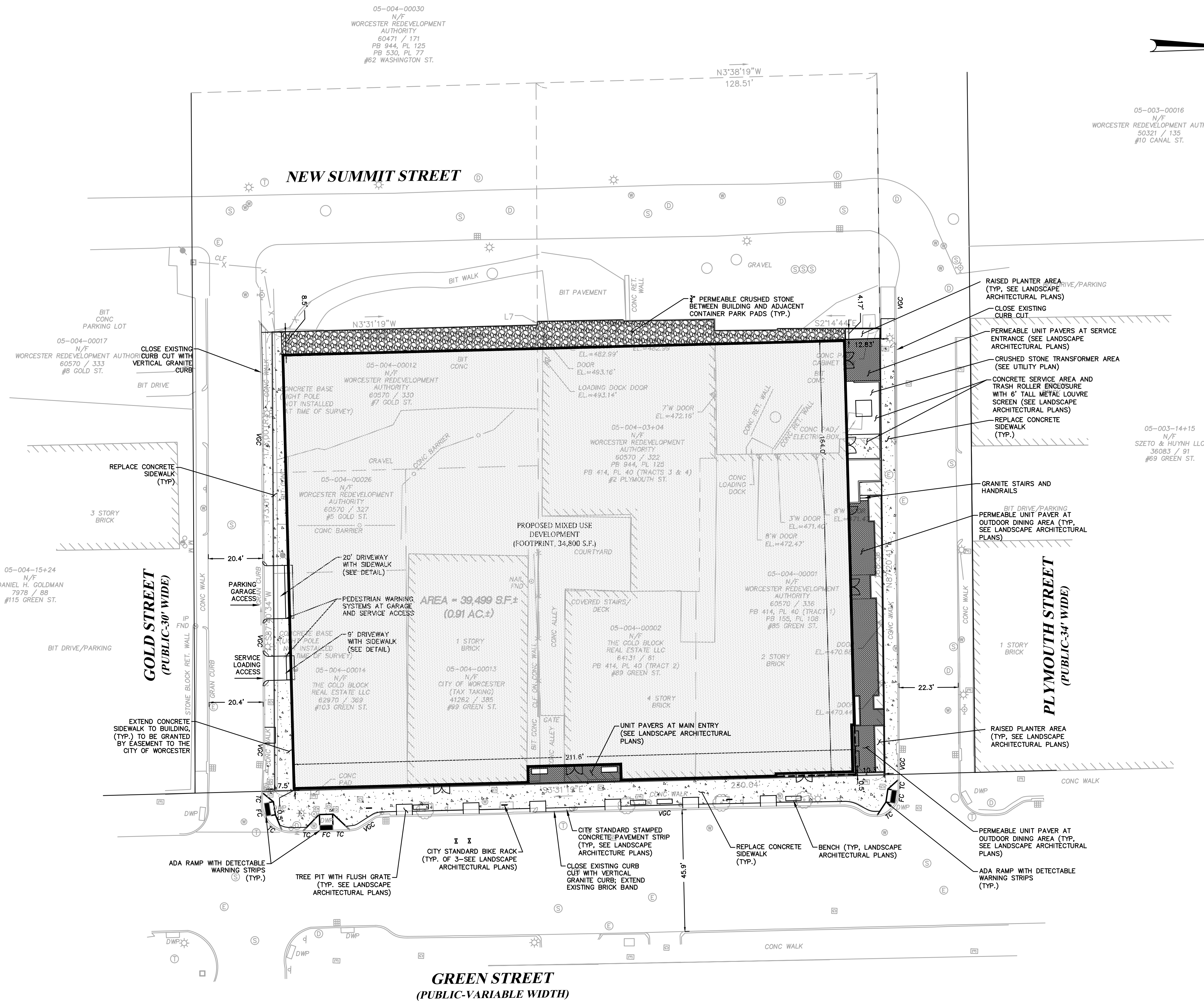
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C100



LAYOUT AND MATERIAL NOTES:

- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO STANDARD SPECIFICATIONS & DETAILS OF THE CITY OF WORCESTER AND "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, AND THESE CONTRACT DOCUMENTS.
- ALL UNDERGROUND STRUCTURES AND UTILITIES ARE TO BE CAPABLE OF WITHSTANDING HS20 WHEEL LOADS.
- UNLESS OTHERWISE INDICATED, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS.
- CONTRACTOR TO ENSURE THAT ALL EXISTING ABUTTING BUILDINGS TO REMAIN ARE TO HAVE MINIMAL IMPACT DURING CONSTRUCTION. VEHICULAR WAYS TO REMAIN OPEN DURING NORMAL BUSINESS HOURS. ALL UTILITIES TO EXISTING ABUTTING BUILDINGS ARE TO HAVE UNINTERRUPTED SERVICE.
- CONTRACTOR TO CONSTRUCT ALL PEDESTRIAN WAYS IN ACCORDANCE WITH ADA AND AAB (521 CMR) ACCESSIBILITY STANDARDS.
- SITE IS NOT WITHIN ANY FEMA FLOOD PLAIN AS SHOWN ON FLOOD MAP 25027C0618E, EFFECTIVE 07/04/2011.

PARKING NOTE:

- PROVIDED PARKING IS ENTIRELY INTERNAL TO THE BUILDING. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.

CURB ABBREVIATIONS:

VGC VERTICAL GRANITE CURB
TC TRANSITION CURB
FC FLUSH CURB

SCALE: 1" = 20'
0 10 20 40 FEET

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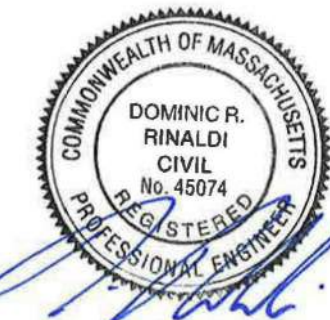


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85 GREEN STREET
WORCESTER, MA

Sheet Name:

GRADING &
DRAINAGE PLAN

Project Number:

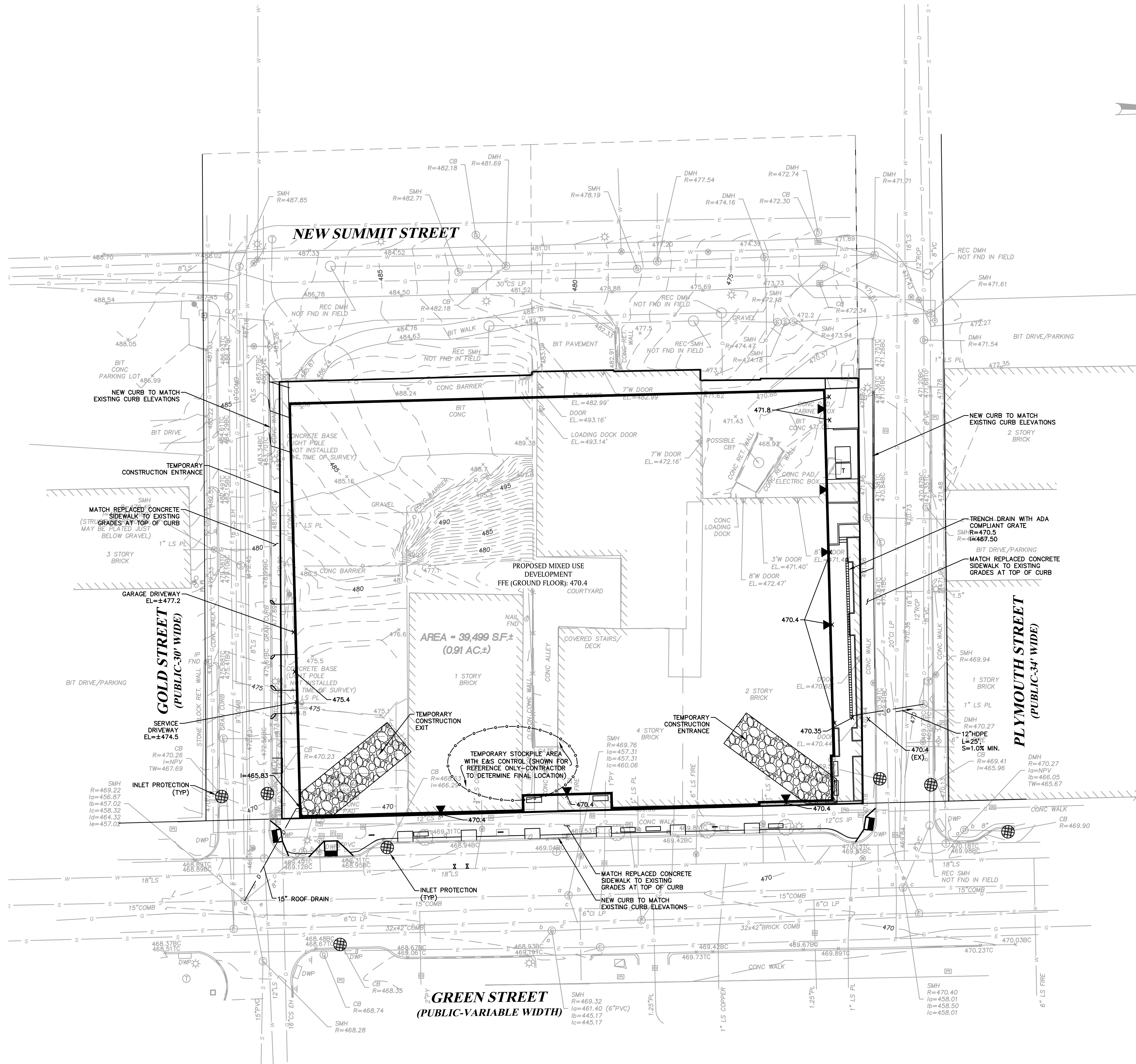
23431.01

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12.17.21

Sheet Number:

C101



LEGEND



SEDIMENT FILTER INLET
PROTECTION DEVICE

R = RIM

I = INVERT

HDPE = HIGH DENSITY POLYETHYLENE

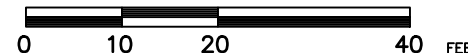
EROSION AND SEDIMENT CONTROL NOTES

1. SILT FENCE WITH HAY BALES TO BE INSTALLED AT PERIMETER OF AREA TO BE DISTURBED BY CONSTRUCTION.
2. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
3. DUST SHALL BE CONTROLLED AT THE SITE IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. ACCEPTABLE METHODS OF DUST CONTROL INCLUDE SPRAYED WATER, CALCIUM CHLORIDE, AND WEIGHTED TARPS OR COVERINGS.
4. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED, THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
5. IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.
6. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA.
7. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
8. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE.
9. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
10. DIVERT STORMWATER RUNOFF AROUND DISTURBED AREAS.
11. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
12. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS.
13. COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
14. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES HALF THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED BELOW PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN HALF THE HEIGHT.
15. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2H:1V. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
16. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL CONSTRUCTION ENTRANCE POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
17. CONTRACTOR TO PERFORM ALL WORK NECESSARY TO PREVENT EROSION AND SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE.
18. SITE CONTRACTOR SHALL REPLACE ALL EROSION AND SEDIMENTATION CONTROLS AT REGULAR INTERVALS THROUGHOUT CONSTRUCTION AND AT THE DIRECTION OF THE ENGINEER.

GRADING AND DRAINAGE NOTES:

1. LOCATIONS OF UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS; CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO SUCH EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT 1(888)344-7233 NO LESS THAN 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
2. ALL UNDERGROUND STRUCTURES AND UTILITIES ARE TO BE CAPABLE OF WITHSTANDING HS20 WHEEL LOADS.
3. RIM ELEVATIONS OF PROPOSED MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE PROPOSED FINISHED GRADES.
4. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATIONS AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.

SCALE: 1" = 20'



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Boston, Massachusetts
02127

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Revision:

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Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

UTILITY PLAN

Project Number:

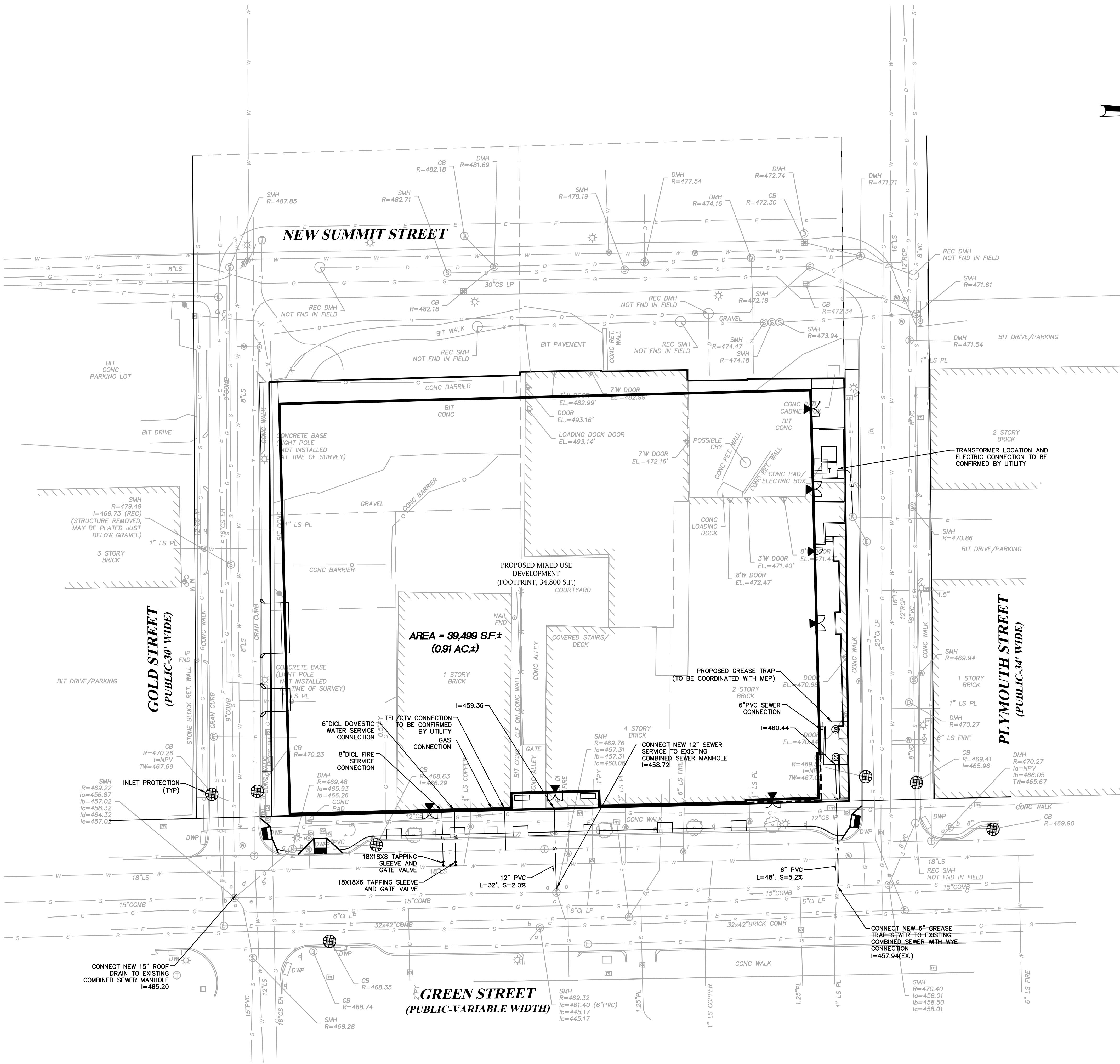
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Sheet Number:

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UTILITY NOTES:

1. LOCATIONS OF UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L., CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS; CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO SUCH EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT 1(888)344-7233 NO LESS THAN 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
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SCALE: 1" = 20'
0 10 20 40 FEET

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THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

CIVIL DETAILS

Project Number:

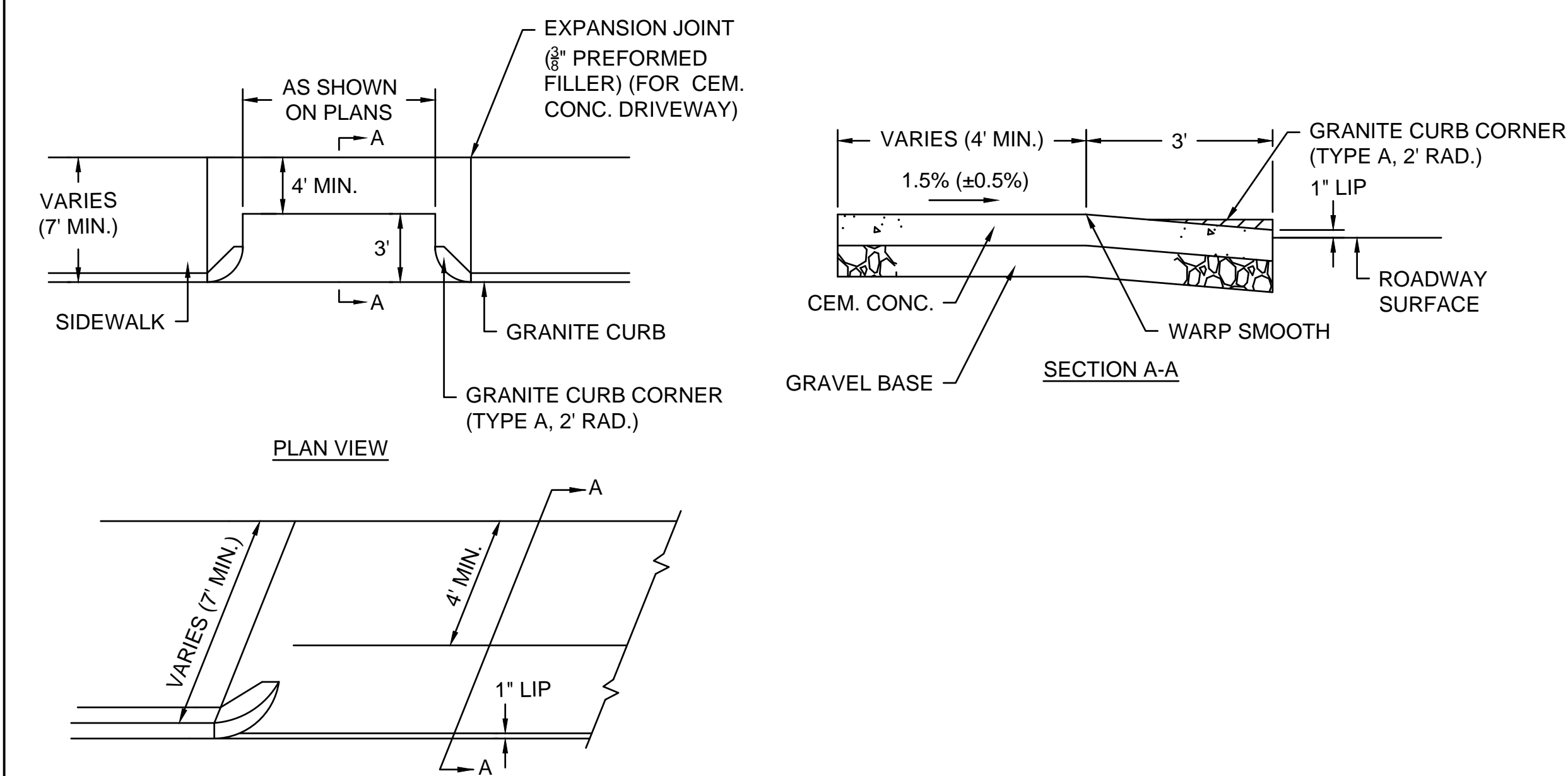
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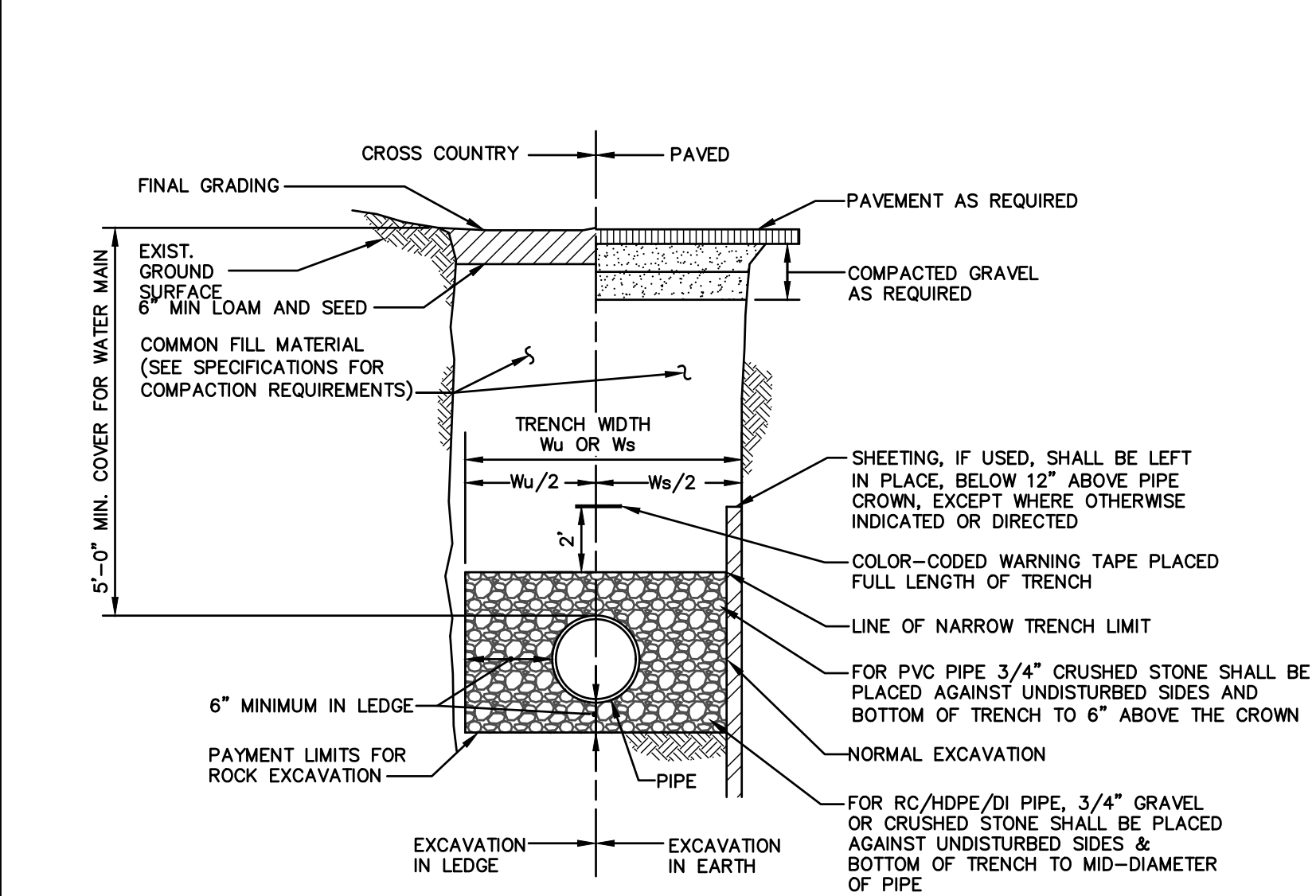
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C200



SIDEWALK THROUGH DRIVEWAY

SCALE: NONE

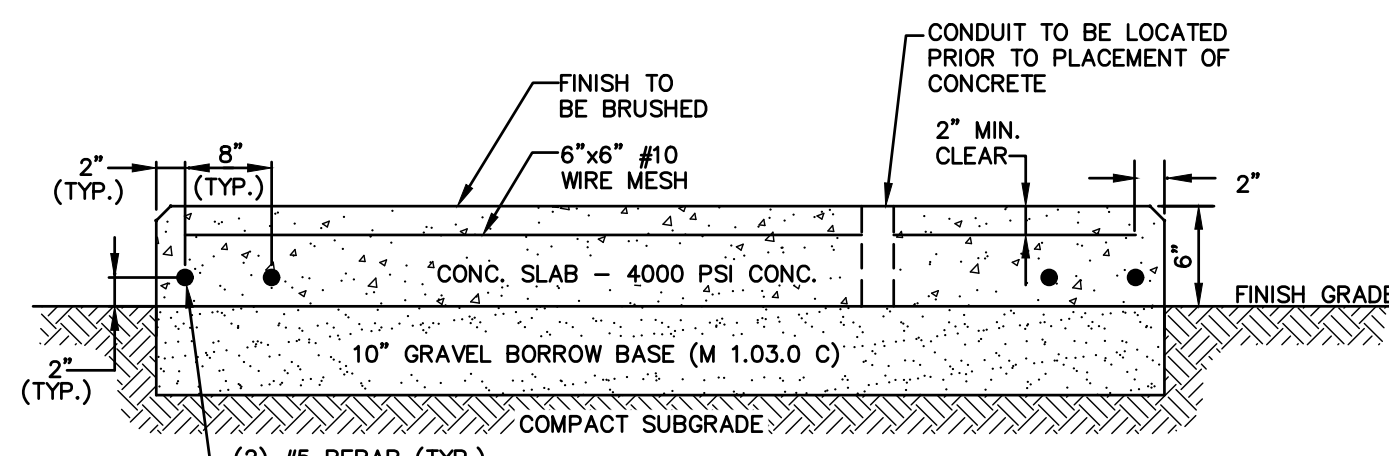


TYPICAL PIPE TRENCH SECTION

SCALE: NONE

TRENCH WIDTH, Ws OR Wu		
DIAMETER OF PIPE	UNSHEETED	WS SHEETED
12\"	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

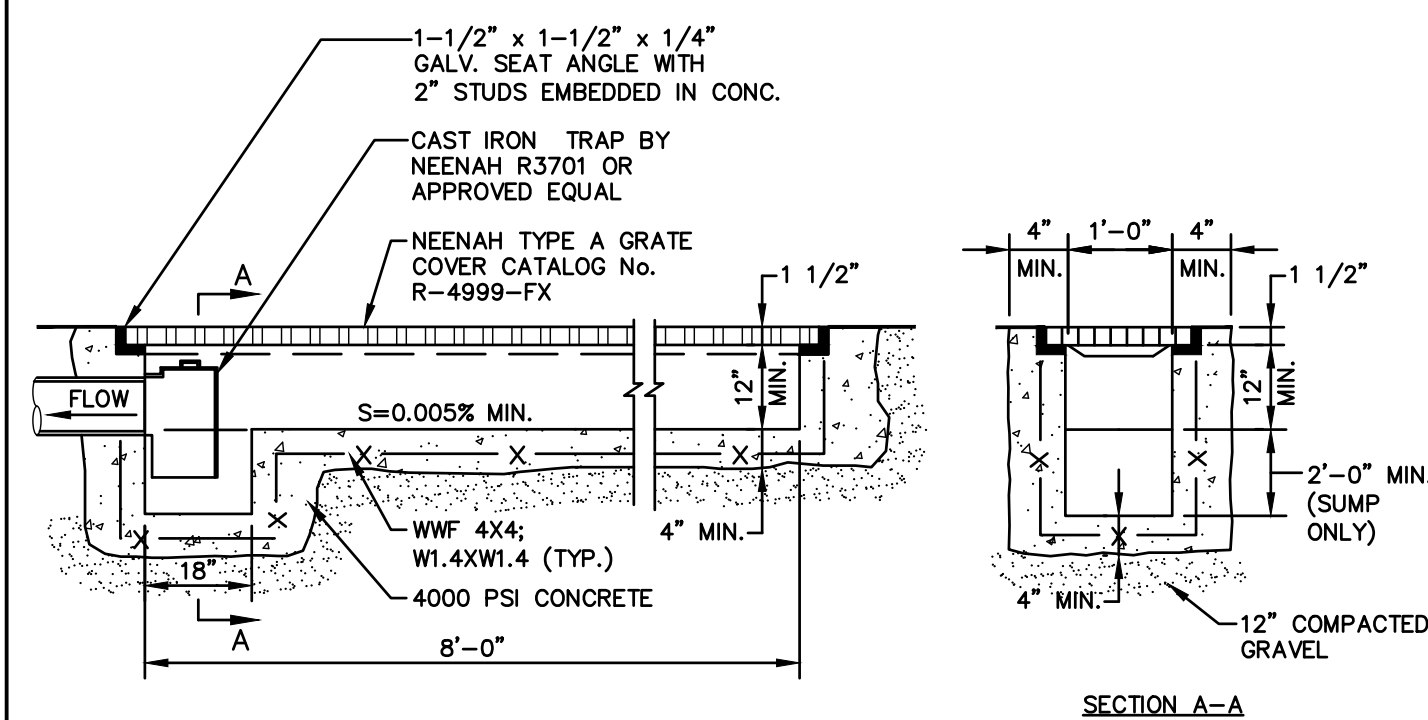
TRENCH WIDTH DATA



NOTE: SHOWN FOR REFERENCE ONLY. ACTUAL TRANSFORMER PAD SHALL BE IN STRICT ACCORDANCE WITH ELECTRIC COMPANY REQUIREMENTS.

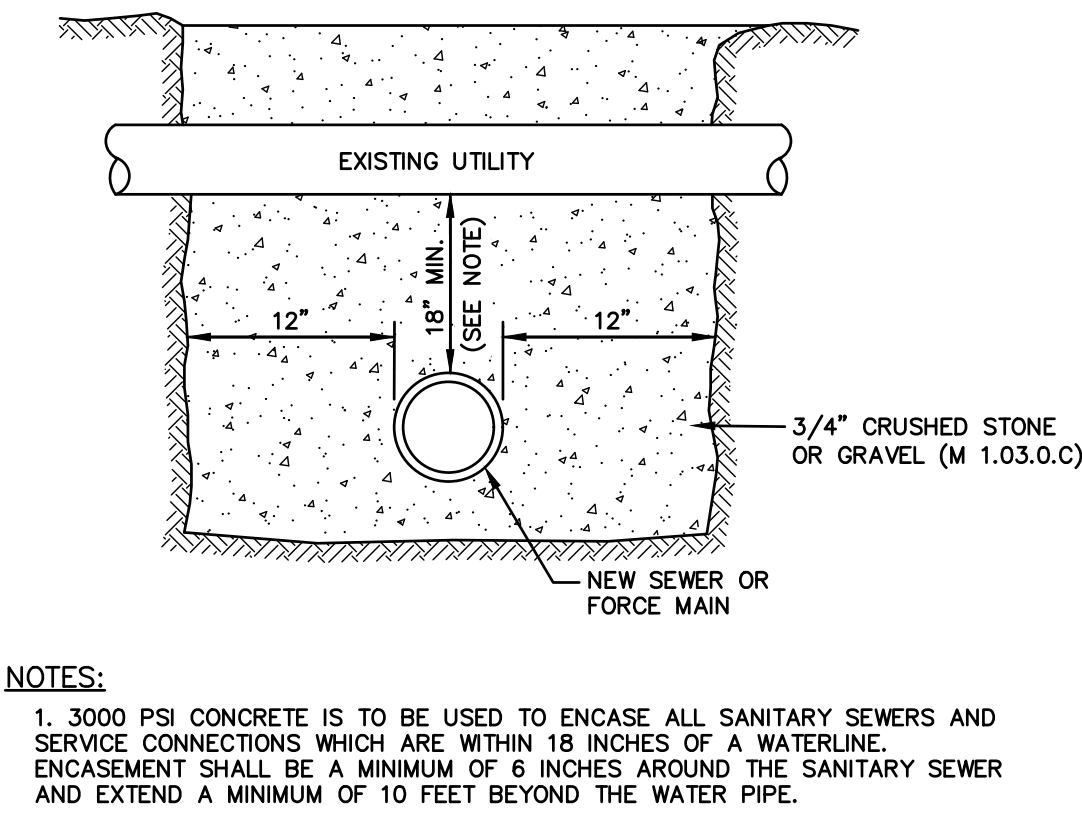
TRANSFORMER PAD

SCALE: NONE



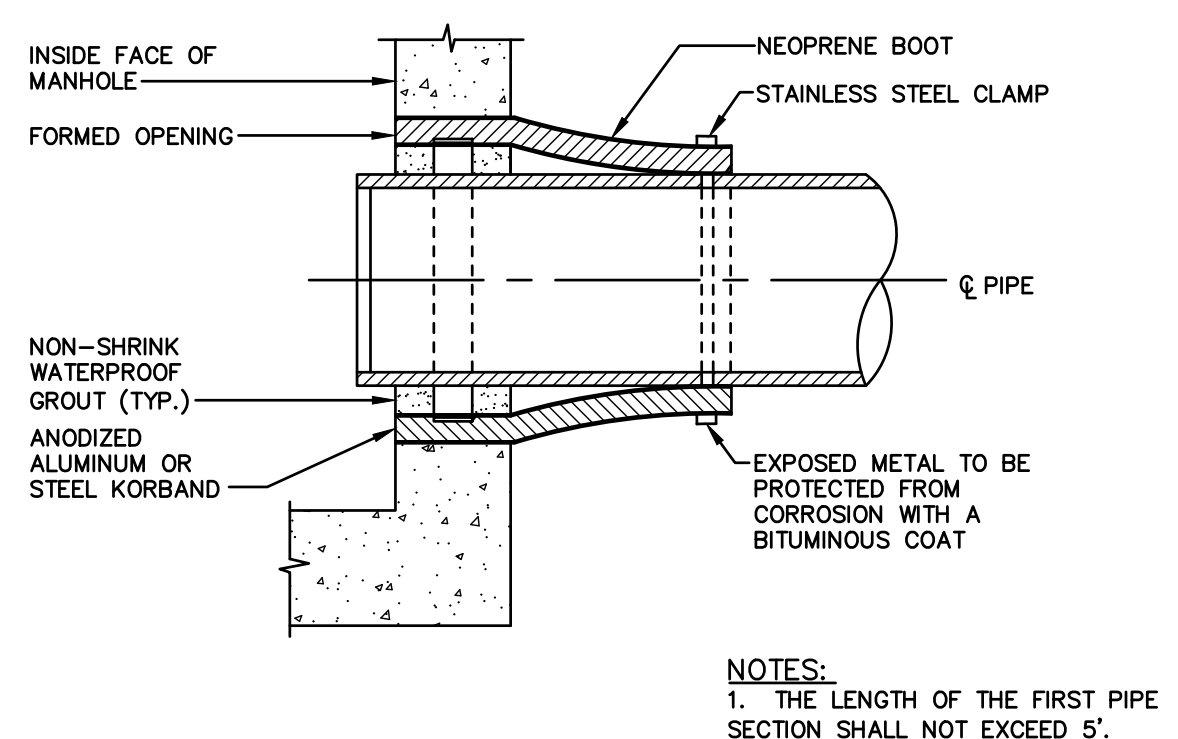
CAST IN PLACE CONCRETE TRENCH DRAIN

SCALE: NONE



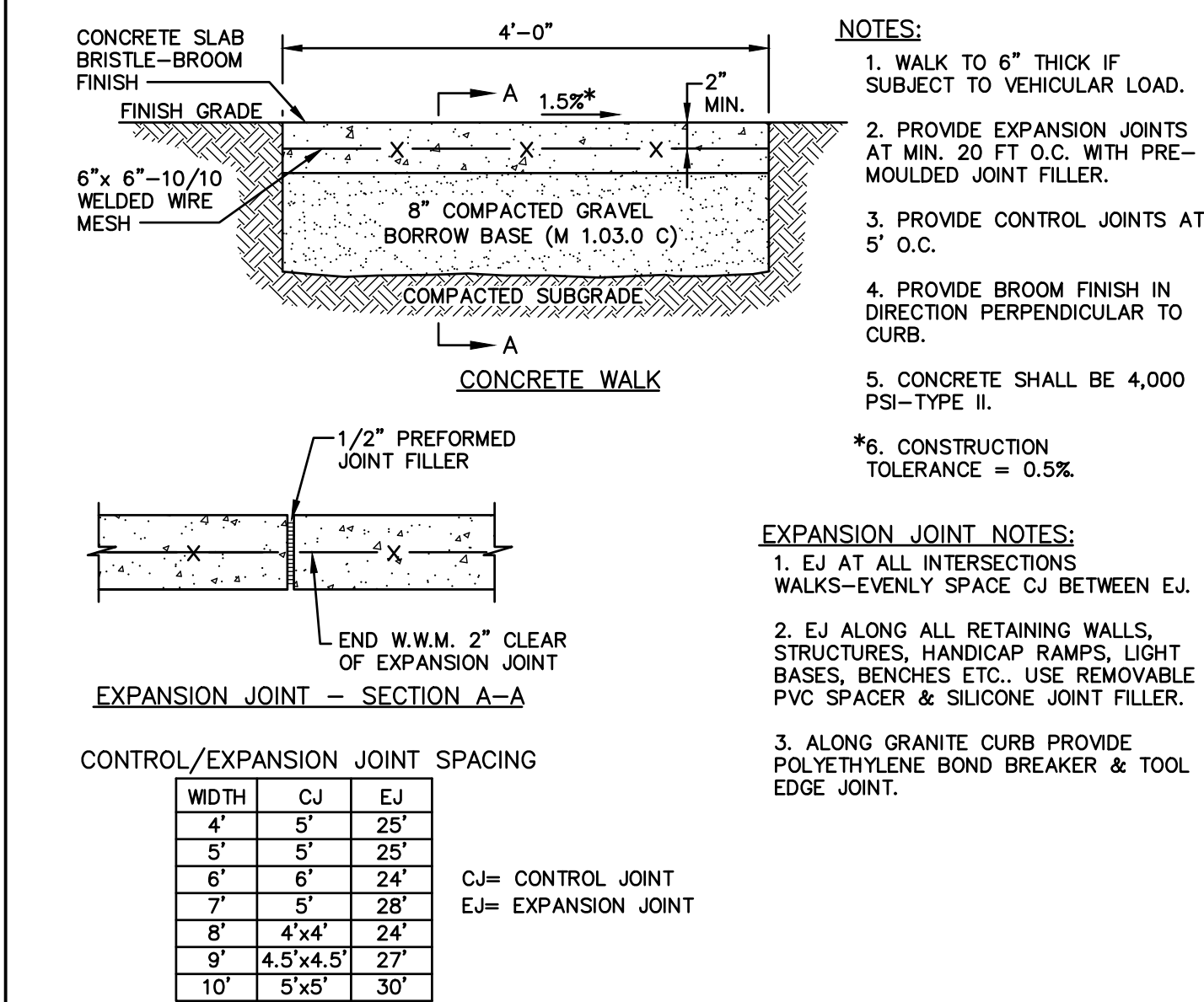
TYPICAL UTILITY CROSSING

SCALE: NONE



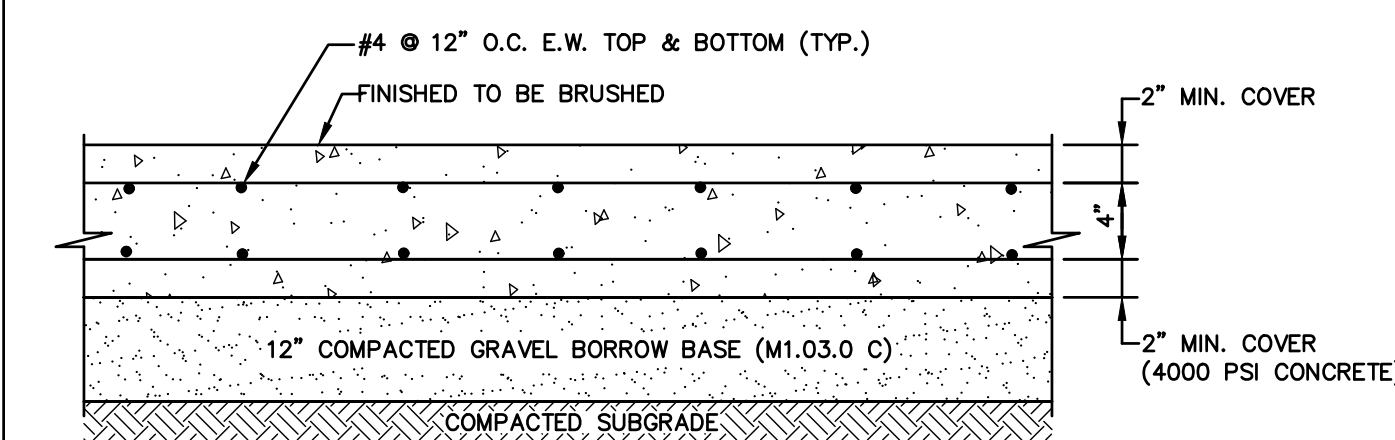
FLEXIBLE PIPE TO MANHOLE CONNECTION (NEOPRENE BOOT)

SCALE: NONE



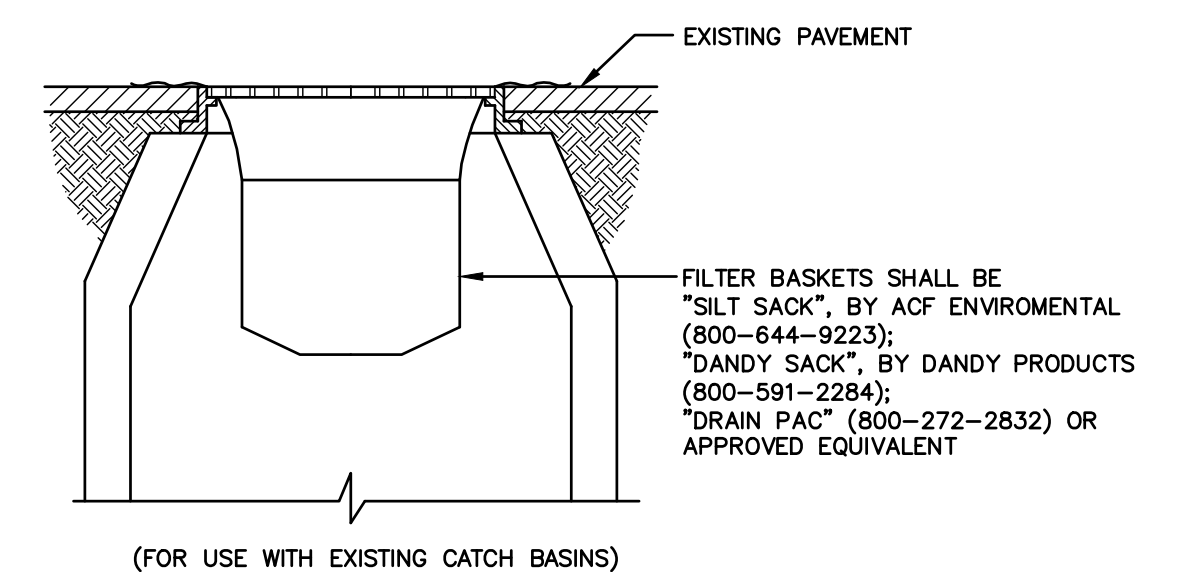
CONCRETE WALKWAY

SCALE: NONE



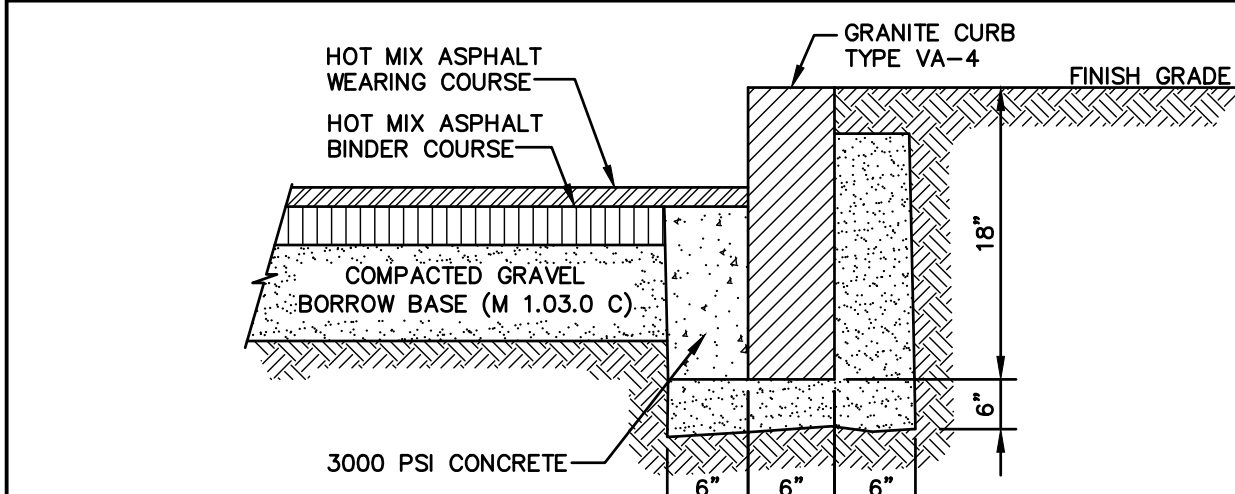
CONCRETE PAVEMENT

SCALE: NONE



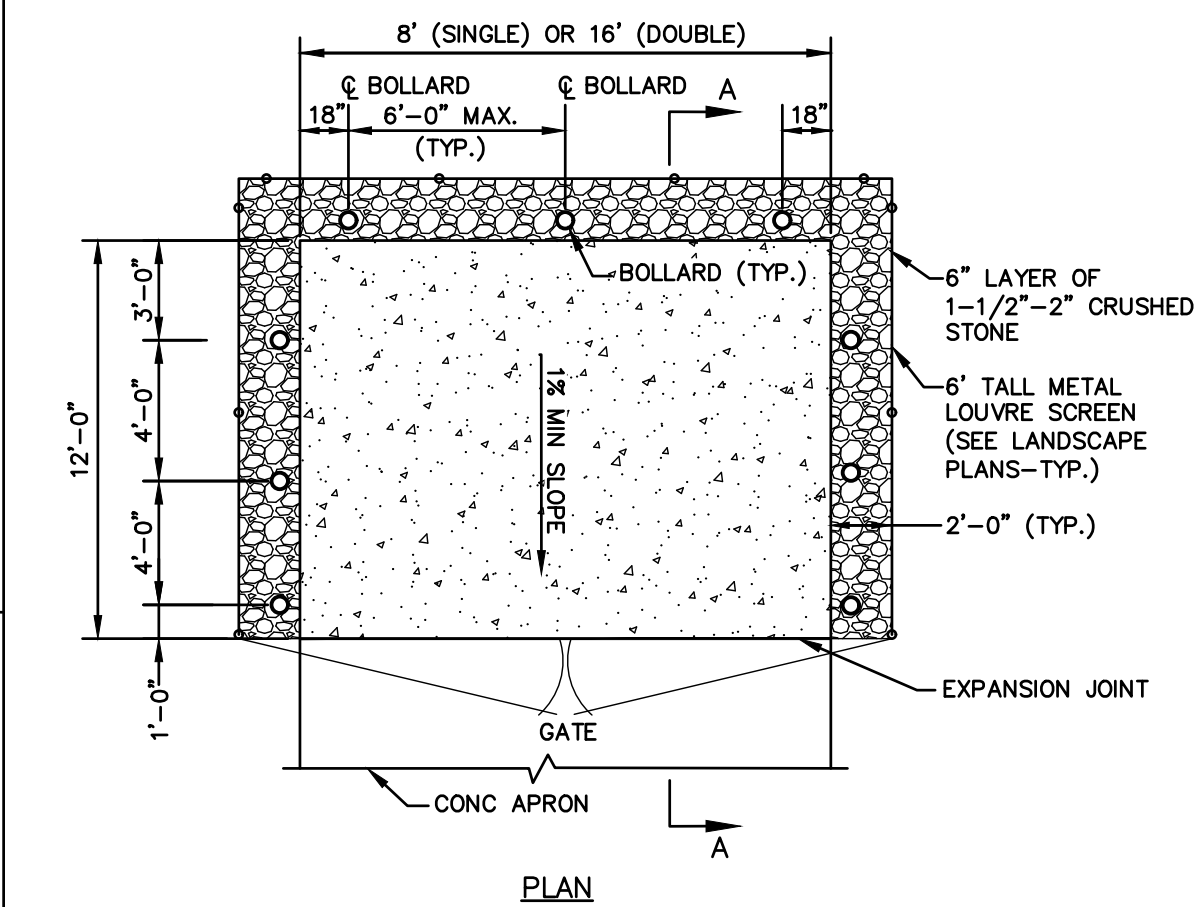
SEDIMENT FILTER INLET PROTECTION

SCALE: NONE



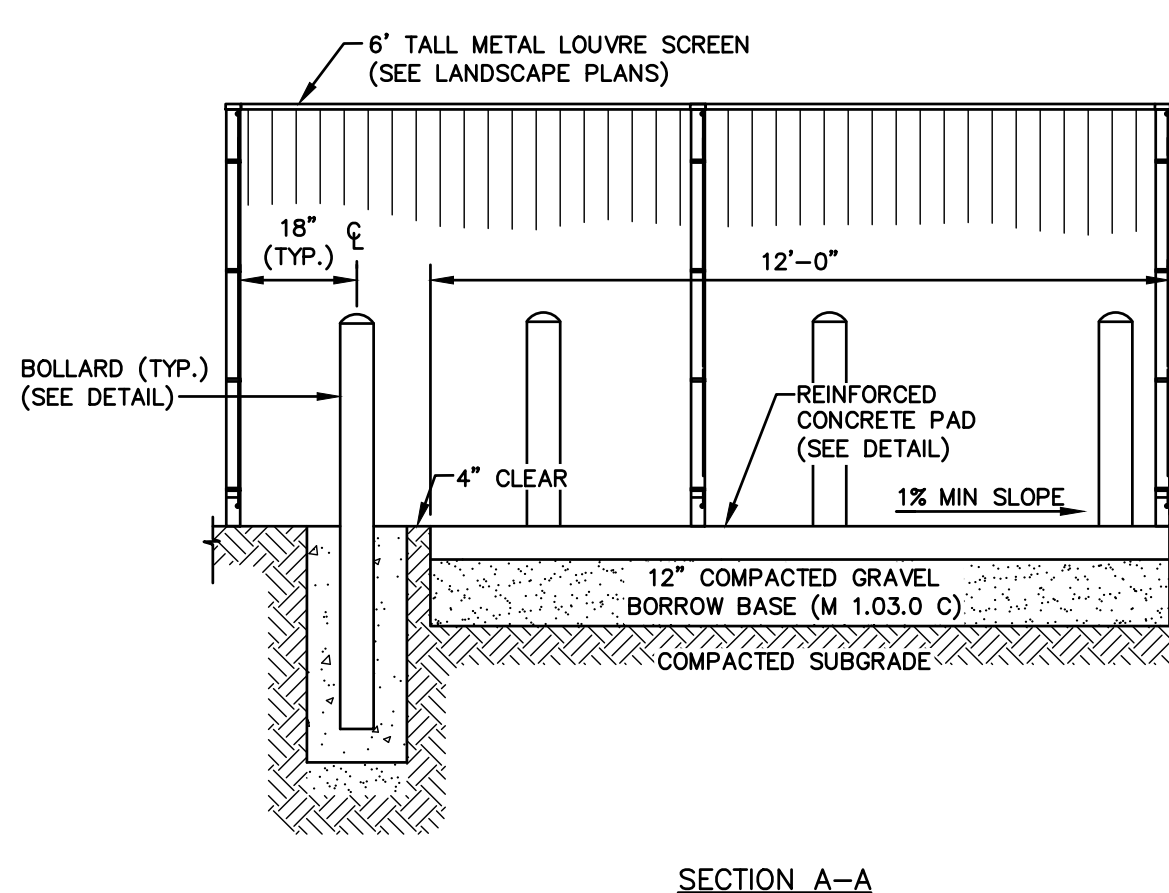
VERTICAL GRANITE CURB

SCALE: NONE



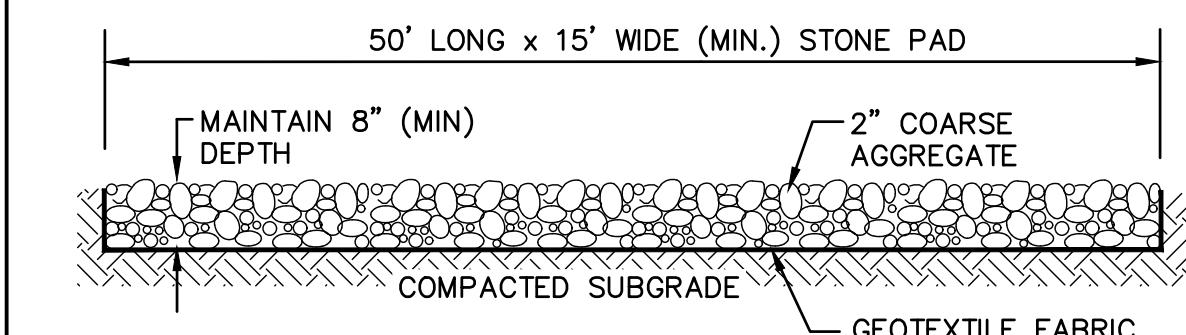
DUMPSTER PAD

SCALE: NONE



CONCRETE ENCASEMENT FOR PIPING

SCALE: NONE



TEMPORARY CONSTRUCTION ENTRANCE

SCALE: NONE

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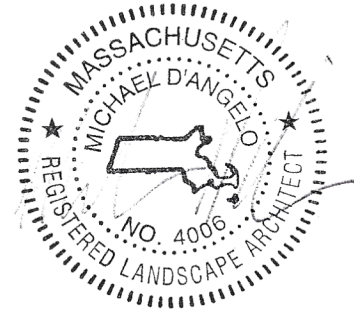
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WORCESTER, MA

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MATERIALS PLAN -
STREETSCAPE

Project Number:

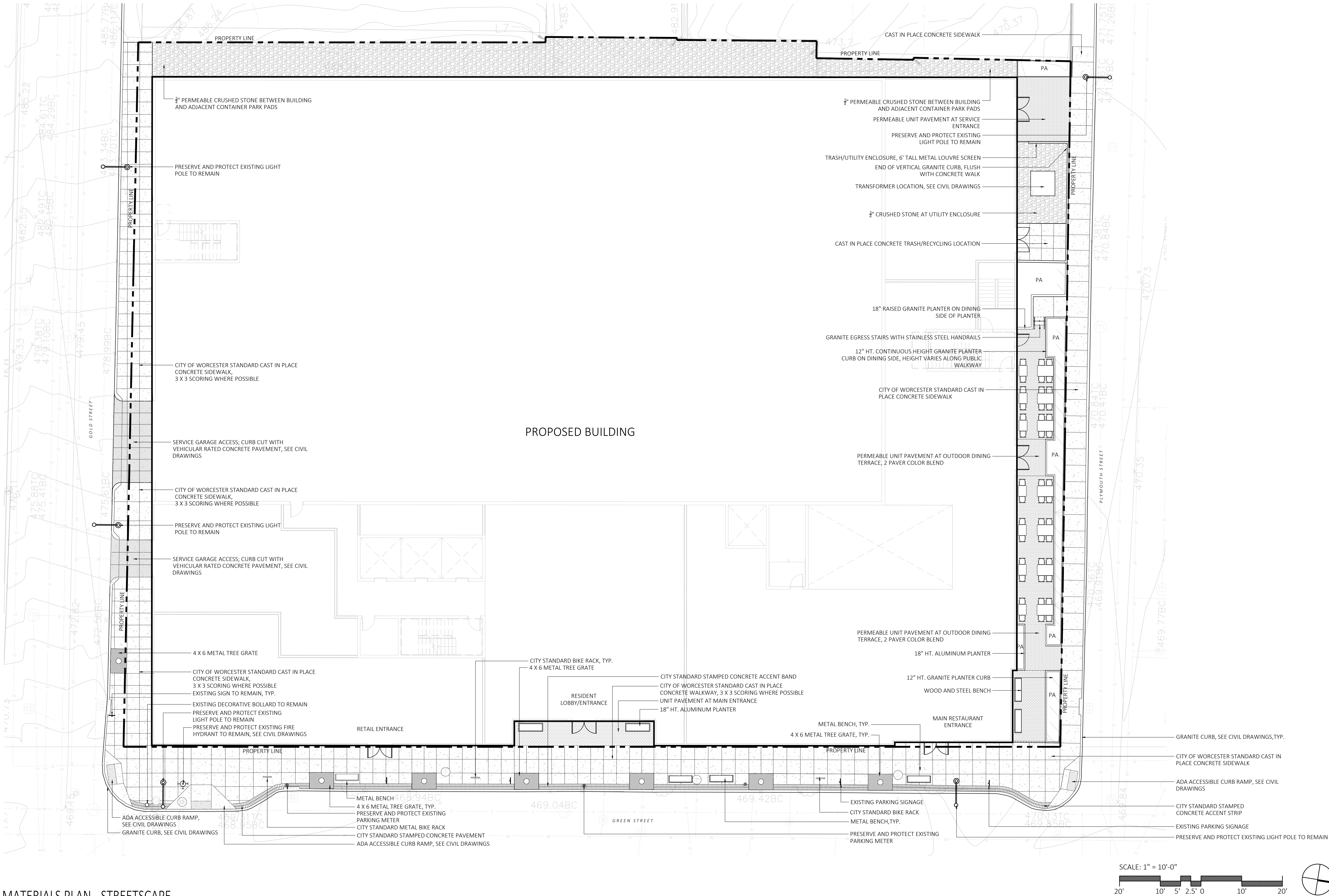
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12.17.21

Sheet Number:

L1.00



1 MATERIALS PLAN - STREETSCAPE

SCALE: 1" = 10'-0"

LAYOUT NOTES

- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
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- CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH CITY OFFICIALS.
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- ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.
- DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE AND LA IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
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- CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLOR, AND JOINTING PRIOR TO FINAL INSTALLATION. SEE SPECIFICATIONS FOR FULL MOCK UP REQUIREMENTS.

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	CONCRETE <ul style="list-style-type: none">LIGHT BROOM FINISH PERPENDICULAR TO PATH OF TRAVELSAW CUT CONTROL JOINTS
	PERMEABLE UNIT PAVEMENT
	PROPERTY LINE
	BENCH
	ADA PARKING SIGNAGE
PA	PLANTING AREA
GC	VERTICAL GRANITE CURBING (SEE CIVIL DRAWINGS)
TGC	TRANSITION GRANITE CURBING (SEE CIVIL DRAWINGS)
FGC	FLUSH GRANITE CURBING (SEE CIVIL DRAWINGS)

NOT FOR CONSTRUCTION

Consultant:

Revision:

Architect of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

PLANTING PLAN -
STREETSCAPE

Project Number:

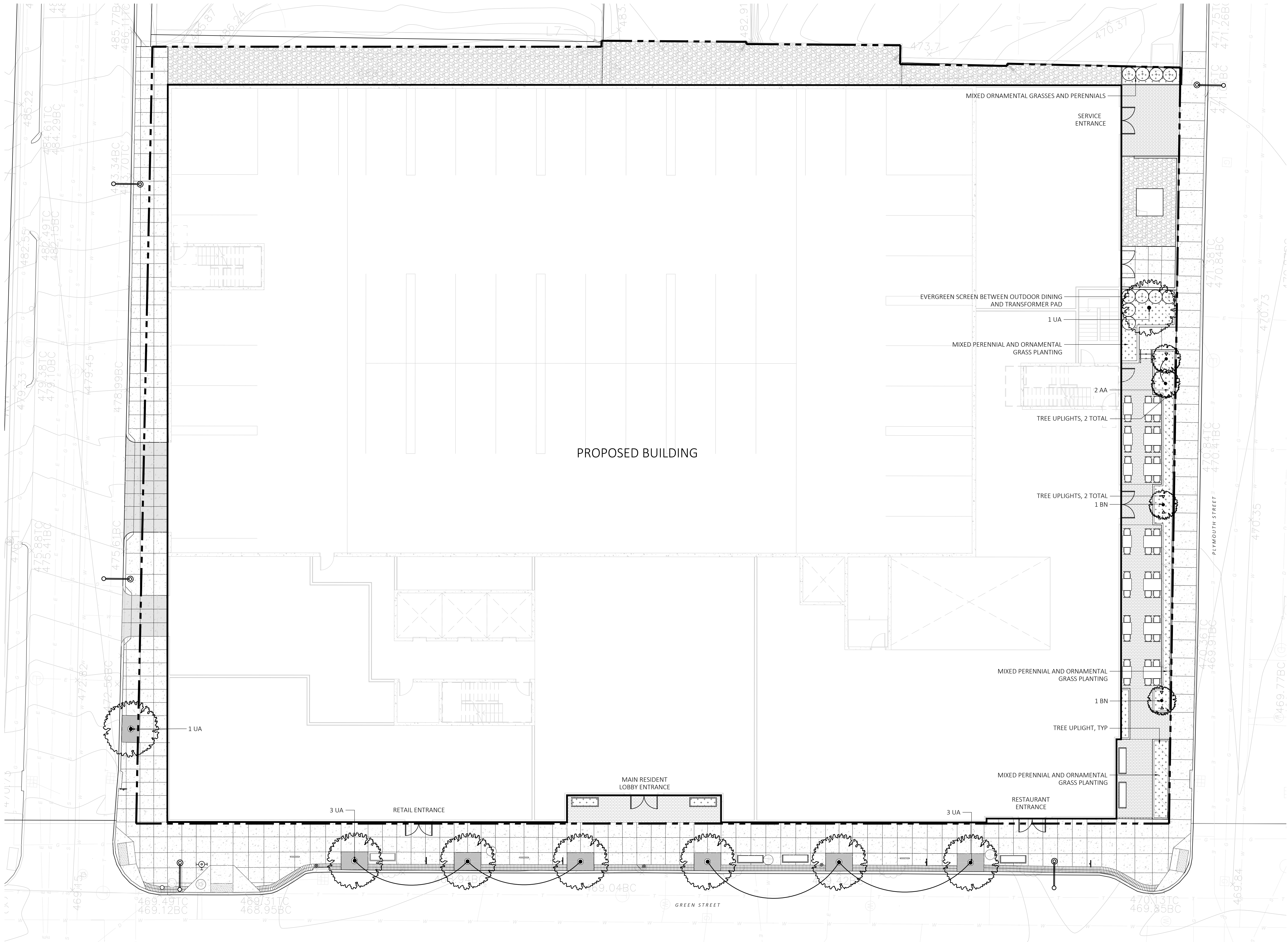
21066.00

Issue Date:

12.17.21

Sheet Number:

L1.01



1 PLANTING AND LIGHTING PLAN - STREETSCAPE

SCALE: 1" = 10'-0"

PLANTING NOTES:

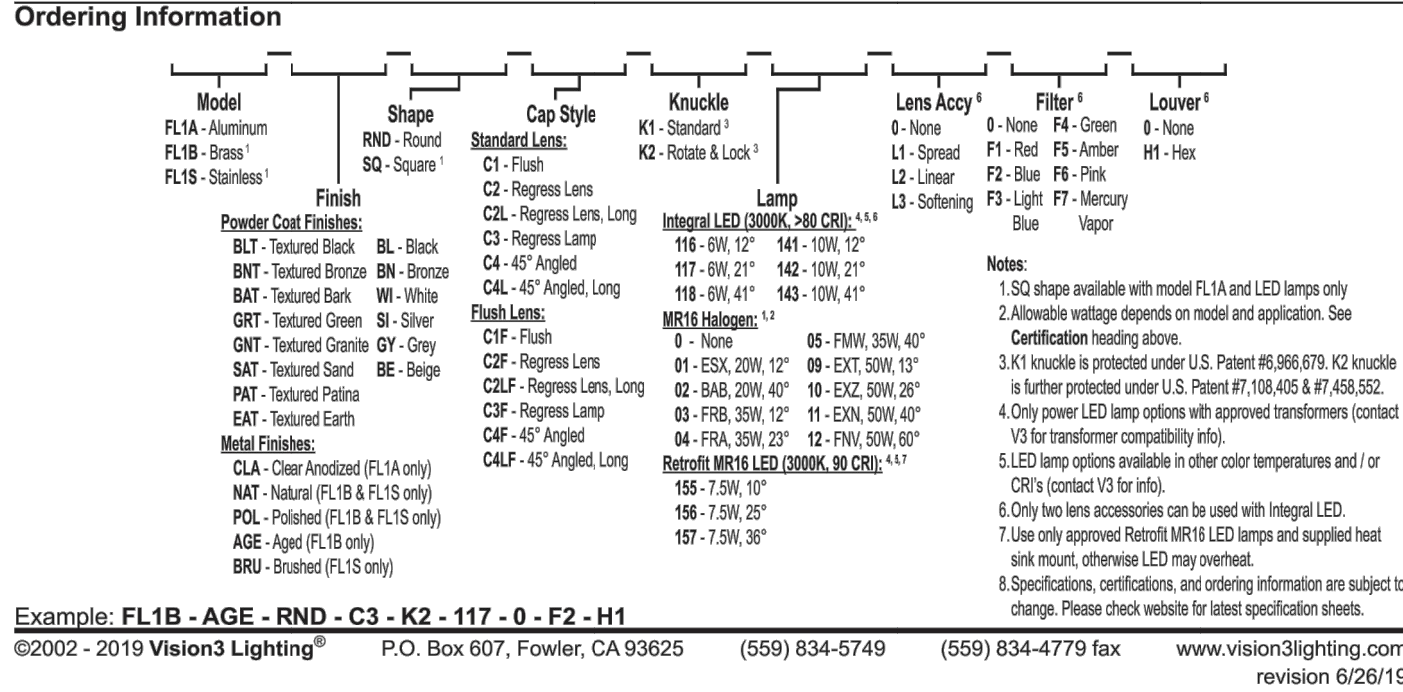
- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
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- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL. STONES LARGER THAN 1". NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOIL/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATINUS EARTH ANCHORS, SIZE FOR CALIPER

IRRIGATION NOTES:

- IRRIGATION SHALL BE A DESIGN-BUILD INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- PROVIDE A REMOTE RAIN SENSOR ON A ROOF AREA THAT IS NOT OBSTRUCTED FROM THE OPEN SKY.
- COORDINATE WITH OWNER FOR POINT OF CONNECTION LOCATION.
- COORDINATE WITH OWNER FOR IRRIGATION CONTROLLER LOCATION.
- INSTALL DRIP TUBING, .66PH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'.
- COORDINATE WITH OWNER FOR BACKFLOW PREVENTION LOCATION.
- INSTALLER SHALL INSTALL LIGHTNING AND SURGE PROTECTION DEVICES THROUGHOUT SYSTEM AS PER MANUFACTURER'S HIGHEST SPECIFICATION LEVELS.
- INSTALLER SHALL ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS RELATED TO CONTROL SYSTEM INSTALLATION.
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PLANT SCHEDULE					
SYMBOL	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
AA	2	AMELANCHIER 'AUTUMN BRILLIANCE'	SHADBUSH SERVICEBERRY	7-8' HT.	B&B, MULTI-STEM, SPECIMEN
BN	2	BEULIA NUDICA 'DURA HEAT'	DOYERBERRY	4"-4.5" CAL	B&B, MULTI-STEM
UA	8	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	4"-4.5" CAL	B&B, 6' CLEAR BRANCHING
SHRUBS					
+		ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3'-3.5' TALL	36" O.C. B&B
		TAXUS X MEDIA 'HICKSI'	HICKS YEW	4.5'-5' TALL	24" O.C.; 3 GALLON
ORNAMENTAL GRASSES & PERENNIALS					
		CALAMAGRODUS X A. KARL FOERSTER	FEATHER BELD GRASS	2 GAL	24" O.C. CONTAINER
		PERNISTETIA M. 'HAMELY'	HAMELY FOUNTAIN GRASS	2 GAL	24" O.C. CONTAINER
		ASTILBE CHINENSIS 'PURPURKERZE'	PURPLE CANDIE	1 GAL	18" O.C. CONTAINER
		ECHEINACEA PURPUREA	PURPLE CORNELLOWER	1 GAL	18" O.C. CONTAINER
		EDUCANTHEMUM 'BECKY'	BECKY DADDY	1 GAL	18" O.C. CONTAINER
		NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL	18" O.C. CONTAINER
		GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	1 GAL	18" O.C. CONTAINER
		ERIOGON SPICATA	CREEPING UNIOPE	1 GAL	15" O.C. CONTAINER

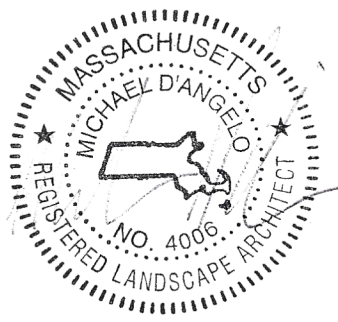
NOT FOR CONSTRUCTION



Consultant:

Revision:

Architect of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

MATERIALS PLAN -
3RD FLOOR AMENITY
TERRACE

Project Number:

21066.00

Issue Date:

12.17.21

Sheet Number:

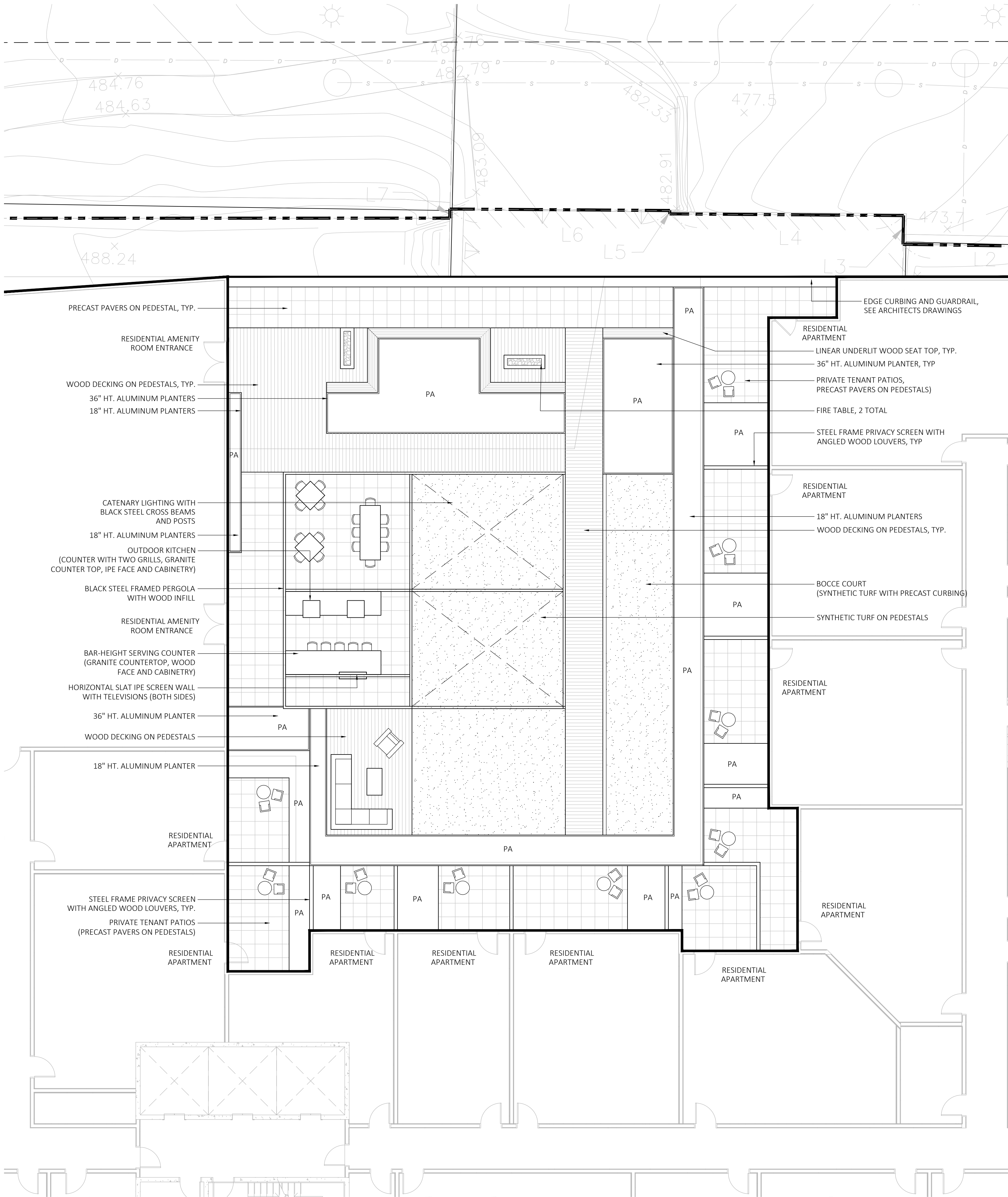
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MATERIALS LEGEND

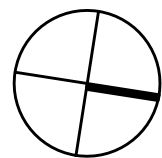
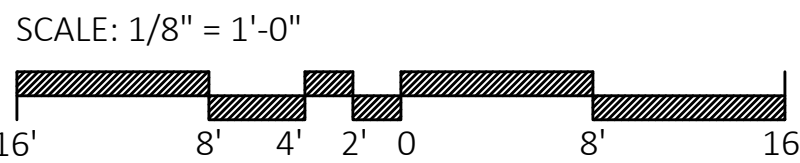
SYMBOL	DESCRIPTION
	IPE DECKING
	SYNTHETIC TURF
	PEDESTAL PAVERS PAVERS
	LIGHT FIXTURE (SEE LIGHTING PLAN)
PA	PLANTING AREA

LAYOUT NOTES

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1 MATERIALS PLAN - 3RD FLOOR AMENITY TERRACE
SCALE: 1/8" = 1'-0"

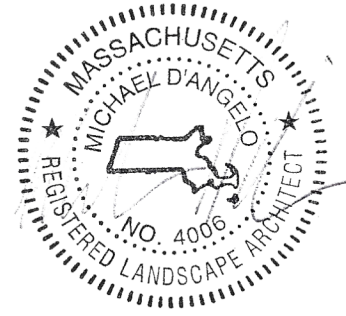


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Consultant:

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Architect of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

PLANTING PLAN -
3RD FLOOR AMENITY
TERRACE

Project Number:

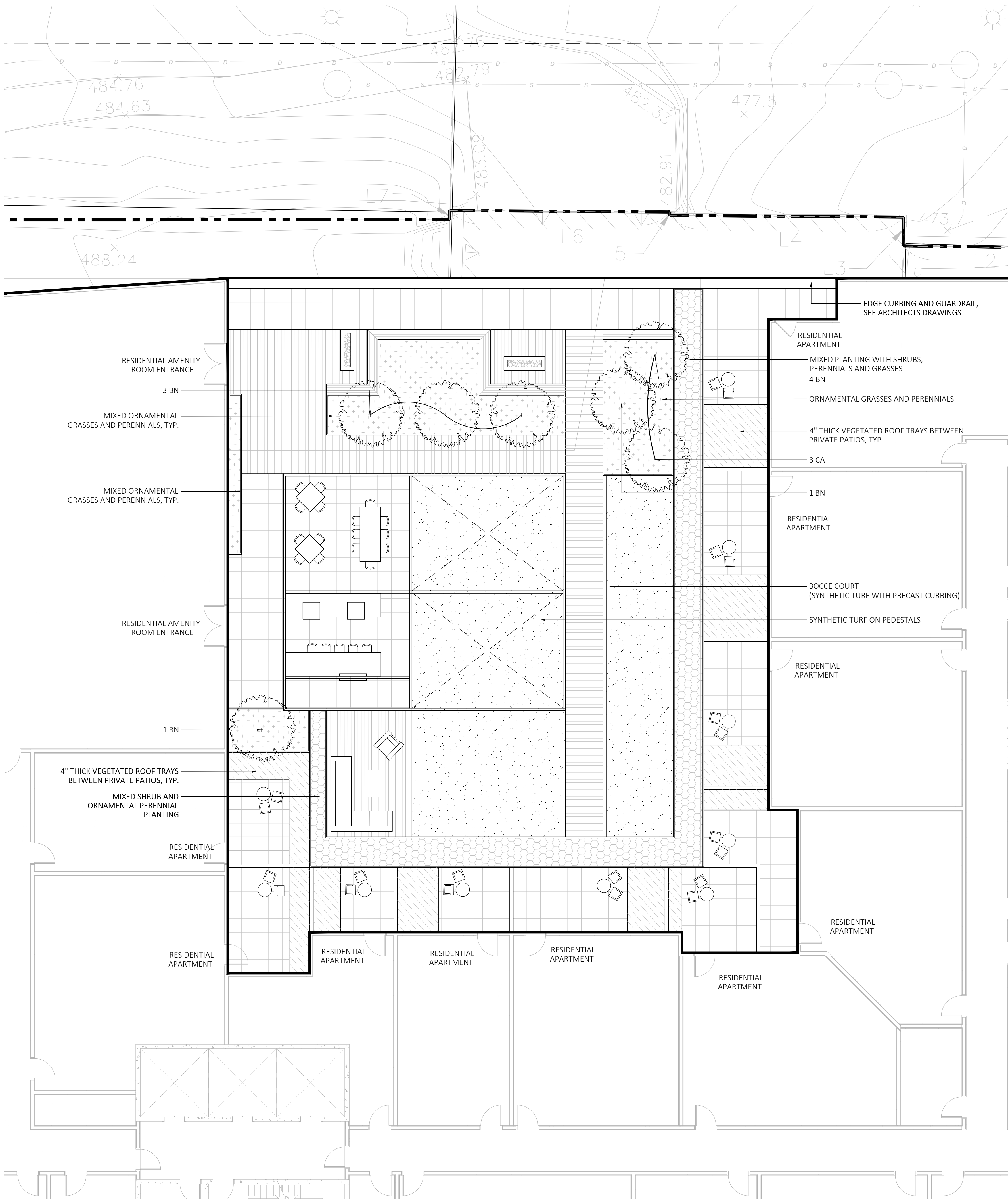
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Issue Date:

12.17.21

Sheet Number:

L2.01



PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
BN	6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	10'-12' HT.	B&B, MULTI-STEM, SPECIMEN
CA	3	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	10'-12' HT.	B&B, MULTI-STEM, SPECIMEN
SHRUBS					
		ILEX GLABRA 'SHAMROCK'	SHAMROCK INK BERRY	3'-3.5' TALL	36" O.C. B&B
		TAXUS X MEDIA 'HICKSII'	HICKS YEW	4.5'-5' TALL	24" O.C., 3 GALLON
ORNAMENTAL GRASSES & PERENNIALS					
		CALAMAGROSTIS X A. 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	24" O.C. CONTAINER
		PENNISETUM A. 'HAMELN'	HAMELN FOUNTAIN GRASS	2 GAL.	24" O.C. CONTAINER
		ASTILBE CHINENSIS 'PURPURKERZE'	PURPLE CANDLE	1 GAL.	18" O.C., CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	18" O.C. CONTAINER
		LEUCANTHEMUM 'BECKY'	BECKY DAISSY	1 GAL.	18" O.C. CONTAINER
		NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	18" O.C. CONTAINER
		GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	1 GAL.	18" O.C. CONTAINER
		LIRIOPE SPICATA	CREeping LIRIOPE	1 GAL.	15" O.C. CONTAINER

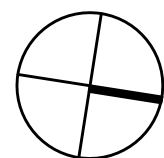
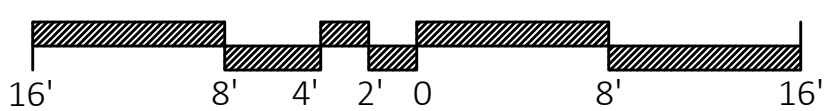
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- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
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SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

Consultant:

Revision:

Architect of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

7TH FLOOR AMENITY
TERRACE

Project Number:

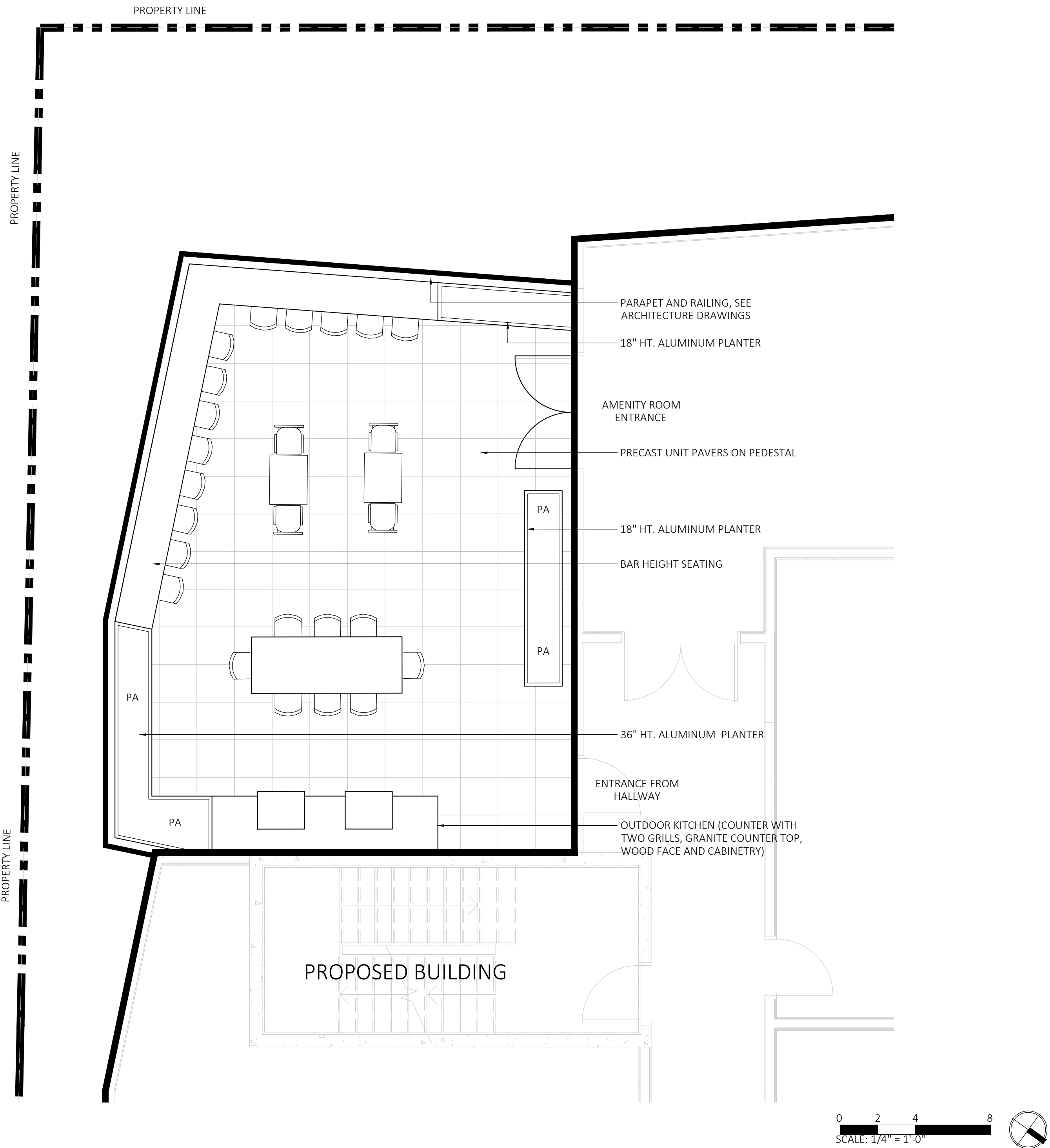
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Issue Date:

12.17.21

Sheet Number:

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1 PLANTING PLAN - 7TH FLOOR AMENITY TERRACE
SCALE: 1/8" = 1'-0"

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	IPE DECKING
	PEDESTAL PAVERS PAVERS
	PA PLANTING AREA

LAYOUT NOTES

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2 PLANTING PLAN - 7TH FLOOR AMENITY TERRACE
SCALE: 1/8" = 1'-0"

PLANT SCHEDULE				
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE
TREES				
BN	6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	10'-12' HT.
CA	3	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	10'-12' HT.
SHRUBS				
		ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3'-3.5' TALL
		TAXUS X MEDIA 'HICKSI'	HICKS YEW	4.5'-5' TALL
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		CALLAMAGROSTIS X A. 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.
		PENNISETUM A. 'HAMELN'	HAMELN FOUNTAIN GRASS	2 GAL.
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		NERPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.
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		LIRIOPE SPICATA	CREeping LIRIOPE	1 GAL.

IRRIGATION NOTES:

- IRRIGATION SHALL BE A DESIGN-BUILD INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING.
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- COORDINATE WITH OWNER FOR POINT OF CONNECTION LOCATION.
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- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
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- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

NOT FOR CONSTRUCTION

Consultant:

Revision:

Architect of Record:



Drawn:

Checked:

Scale: AS NOTED

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

ROOF LEVEL
AMENITY TERRACE

Project Number:

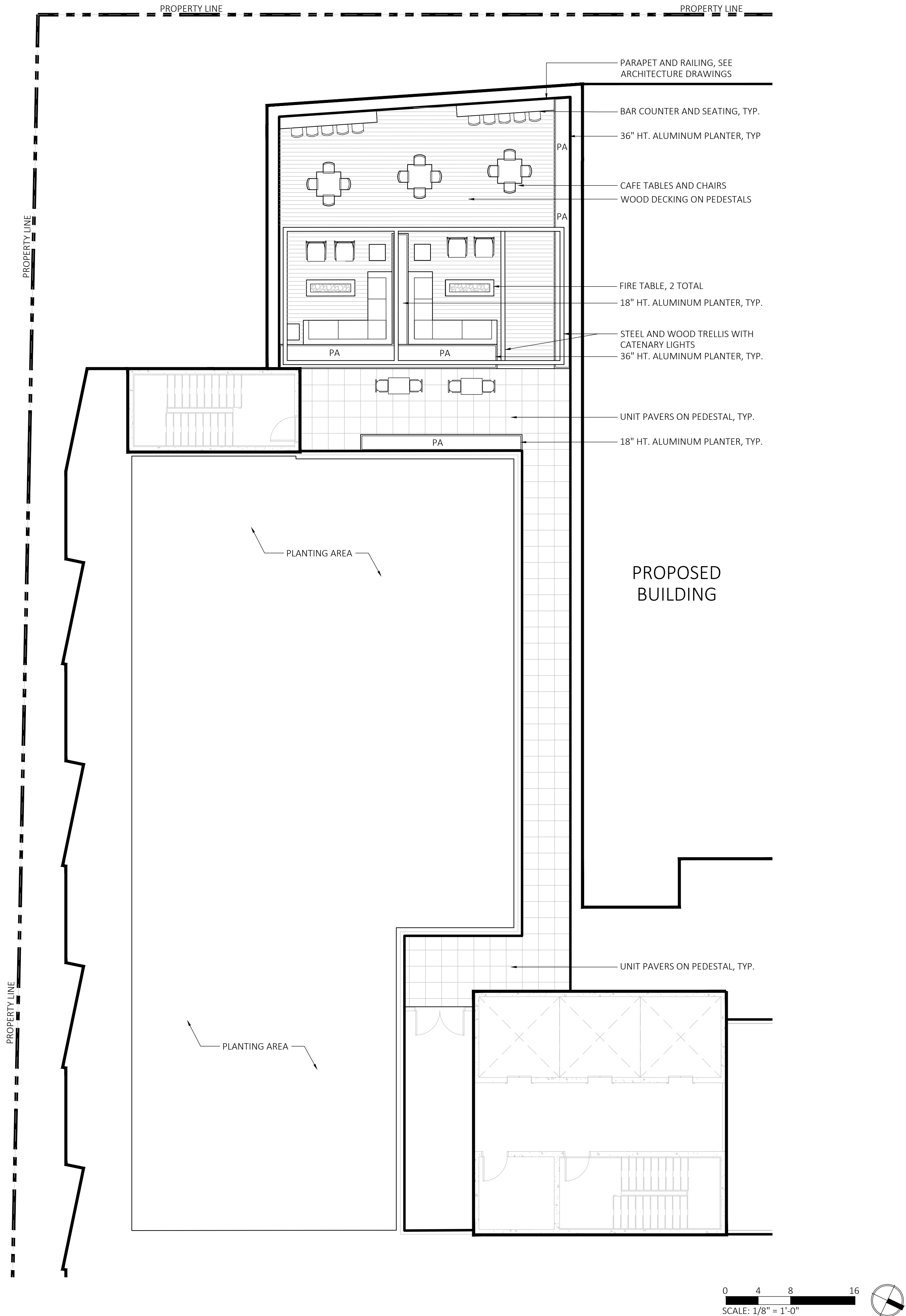
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12.17.21

Sheet Number:

L4.00



1 PLANTING PLAN - ROOF LEVEL AMENITY TERRACE

SCALE: 1/8" = 1'-0"

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	IPE DECKING
	PEDESTAL PAVERS PAVERS
	PA PLANTING AREA

LAYOUT NOTES

- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
- EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE, AND LOCAL AGENCIES.
- CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH CITY OFFICIALS.
- MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF EXISTING CONDITIONS AND SURVEY INFORMATION.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.
- DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE AND LA IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
- CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.
- CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLOR, AND JOINTING PRIOR TO FINAL INSTALLATION. SEE SPECIFICATIONS FOR FULL MOCK UP REQUIREMENTS.

1 PLANTING PLAN - ROOF LEVEL AMENITY TERRACE

SCALE: 1/8" = 1'-0"

PLANT SCHEDULE				
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE
TREES				
DN	6	BETULA NIGRA 'HERITAGE'	RIVER BIRCH	10'-12' HT.
CA	3	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	10'-12' HT.
SHRUBS				
		ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3'-3.5' TALL
		TAXUS X MEDIA 'HICKSII'	HICKS YEW	4.5'-5' TALL
ORNAMENTAL GRASSES & PERENNIALS				
		CALAMAGROSTIS X.A. 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.
		Pennisetum a. 'HAMM'	HAMELN FOUNTAIN GRASS	2 GAL.
		ASTILBE CHINENSIS 'PURPURKERZE'	PURPLE CANDLE	1 GAL.
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.
		LEUCANTHEMUM 'BECKY'	BECKY DAISY	1 GAL.
		NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.
		GERANIUM 'ROZANNE'	ROZANNE CRANESBILL	1 GAL.
		LIRIOPE SPICATA	CREeping LIRIOPE	1 GAL.

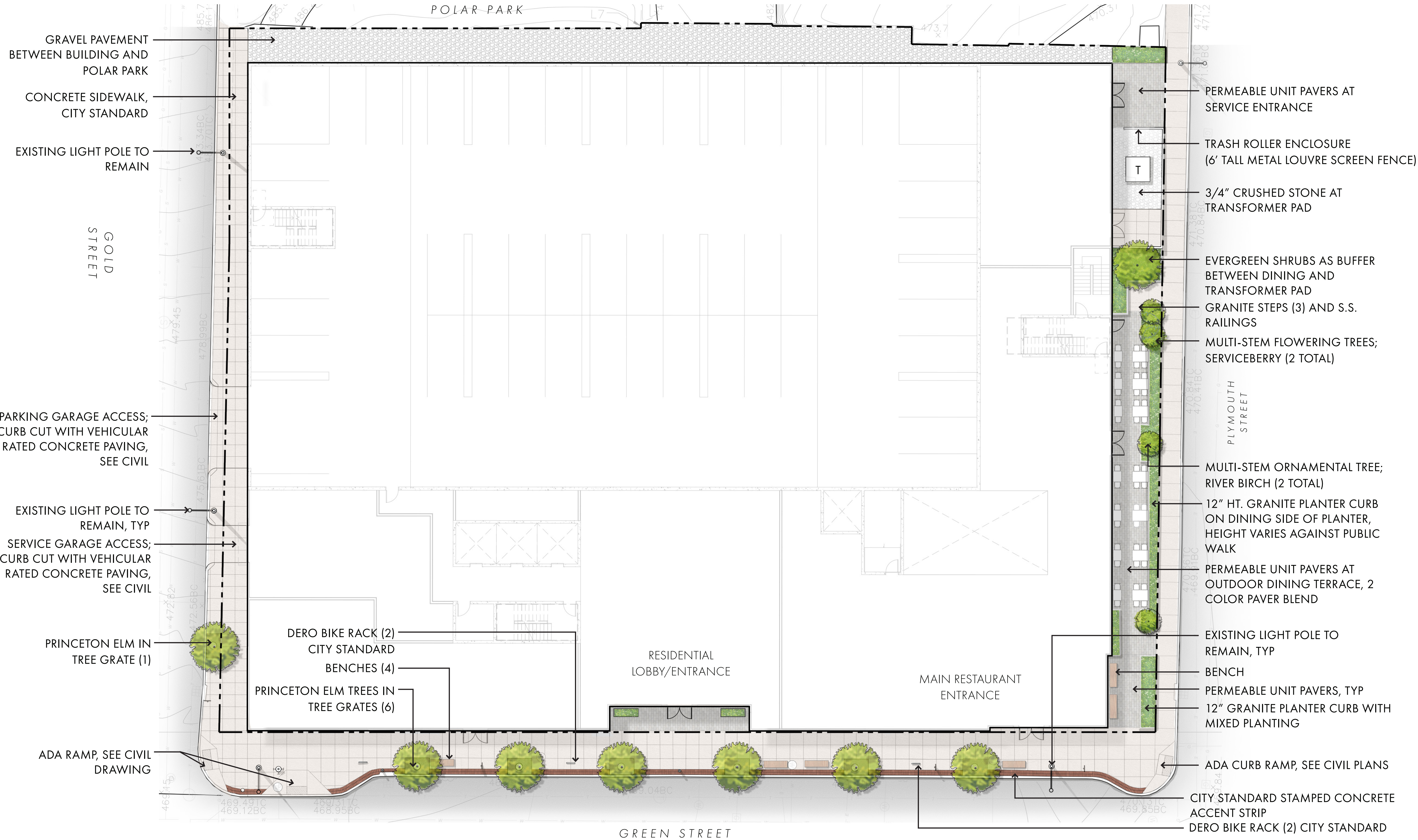
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NOT FOR CONSTRUCTION





PARAPET WALL AND GUARDRAIL, BY ARCHITECT

FIRE TABLE (2)

LINEAR, UNDER-LIT IPE BENCHES OVERLOOKING POLAR PARK

3' TALL ALUMINUM PLANTER WITH PERENNIALS
AND ORNAMENTAL TREES

IPE "BOARDWALK"

PRECAST PAVERS ON PEDESTALS AT PRIVATE PATIOS
DINING TABLE

SYNTHETIC TURF

STEEL PERGOLA WITH IPE INFILL

CATENARY LIGHTS WITH STEEL POSTS

OUTDOOR KITCHEN WITH 2 GRILLS

12" TALL, ALUMINUM PLANTERS
WITH SHRUBS AND PERENNIALS

BAR COUNTER WITH SEATING

IPE SCREEN WALL WITH INLAY TV'S (BOTH SIDES)

BOCCE COURT (SYNTHETIC TURF WITH GRANITE CURBING)

SECTIONAL LOUNGE SEATING

STEEL AND IPE LOUVRE SCREENS BETWEEN PRIVATE PATIO

PRECAST PAVERS ON PEDESTALS WITH PRIVATE PATIOS

4" THICK VEGETATED ROOF TRAYS BETWEEN PRIVATE PATIOS



THE COVE | L5.01 - 3RD FLOOR AMENITY TERRACE PLAN RENDERING

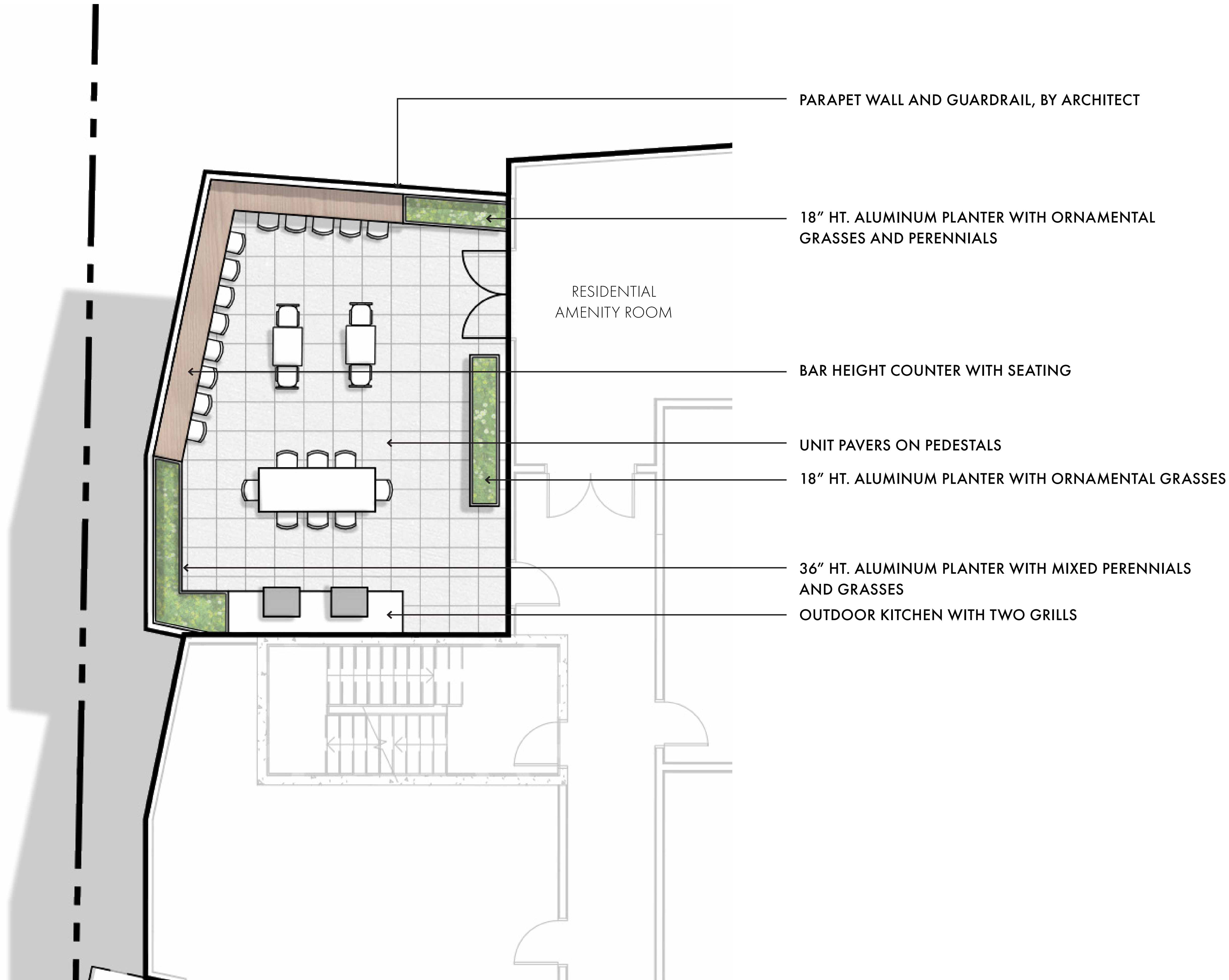
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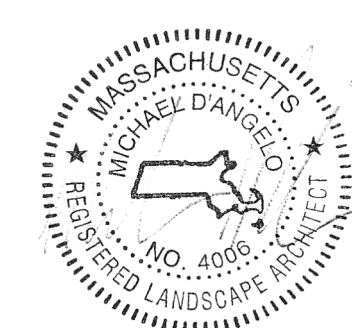
tat
the architectural team

MDLA
MICHAEL D'ANGELO landscape architecture



THE COVE | L5.02 - 7TH FLOOR AMENITY TERRACE PLAN RENDERING

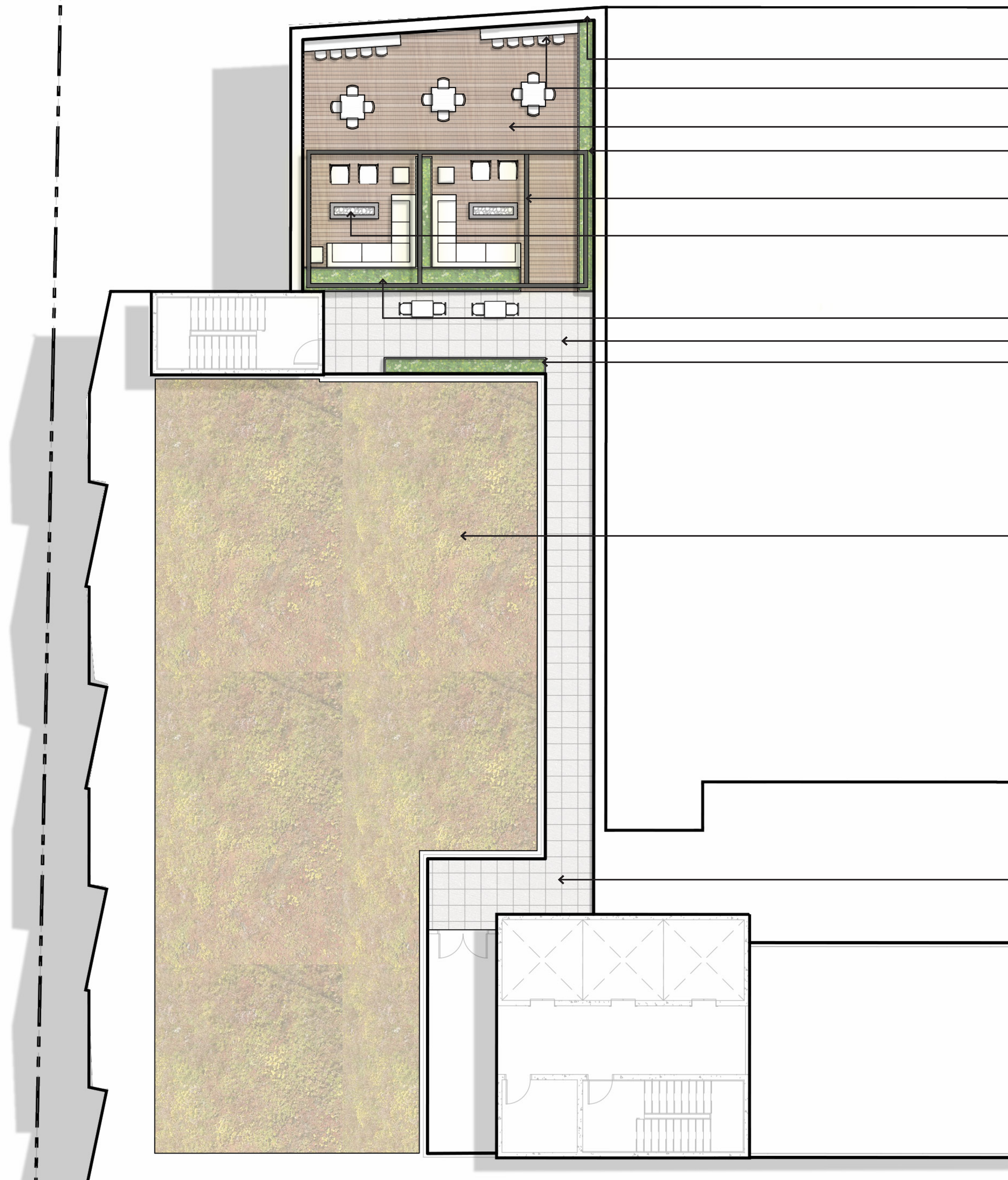
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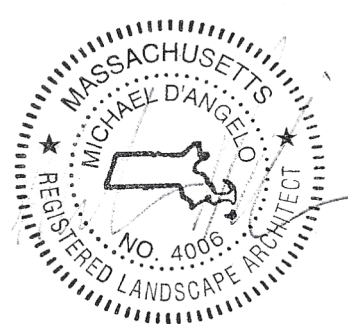
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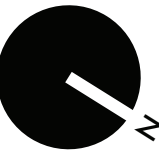


- PARAPET WALL AND GUARDRAIL, BY ARCHITECT
- BAR HEIGHT COUNTER AND SEATING
- WOOD DECKING ON PEDESTALS
- 36" HT. ALUMINUM PLANTER WITH ORNAMENTAL GRASSES AND PERENNIALS
- STEEL AND WOOD TRELLIS WITH CATENARY LIGHTS
- FIRE TABLE, 2 TOTAL
- 36" HT. ALUMINUM PLANTER WITH MIXED SHRUBS AND PERENNIALS
- UNIT PAVERS ON PEDESTALS
- 18" HT. ALUMINUM PLANTER WITH ORNAMENTAL GRASSES AND PERENNIALS
- 4" THICK VEGETATIVE GREEN ROOF TRAYS
- UNIT PAVERS ON PEDESTALS

THE COVE | L5.03 - ROOF LEVEL AMENITY TERRACE PLAN RENDERING
WORCESTER, MA



DECEMBER 17, 2021



Consultant:

Revision:

Architect of Record:



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Scale: 1/16" = 1'-0"

Key Plan:

Project Name:

THE COVE

85 GREEN STREET
WORCESTER, MA

Sheet Name:

OVERALL
FLOOR PLANS

Project Number:

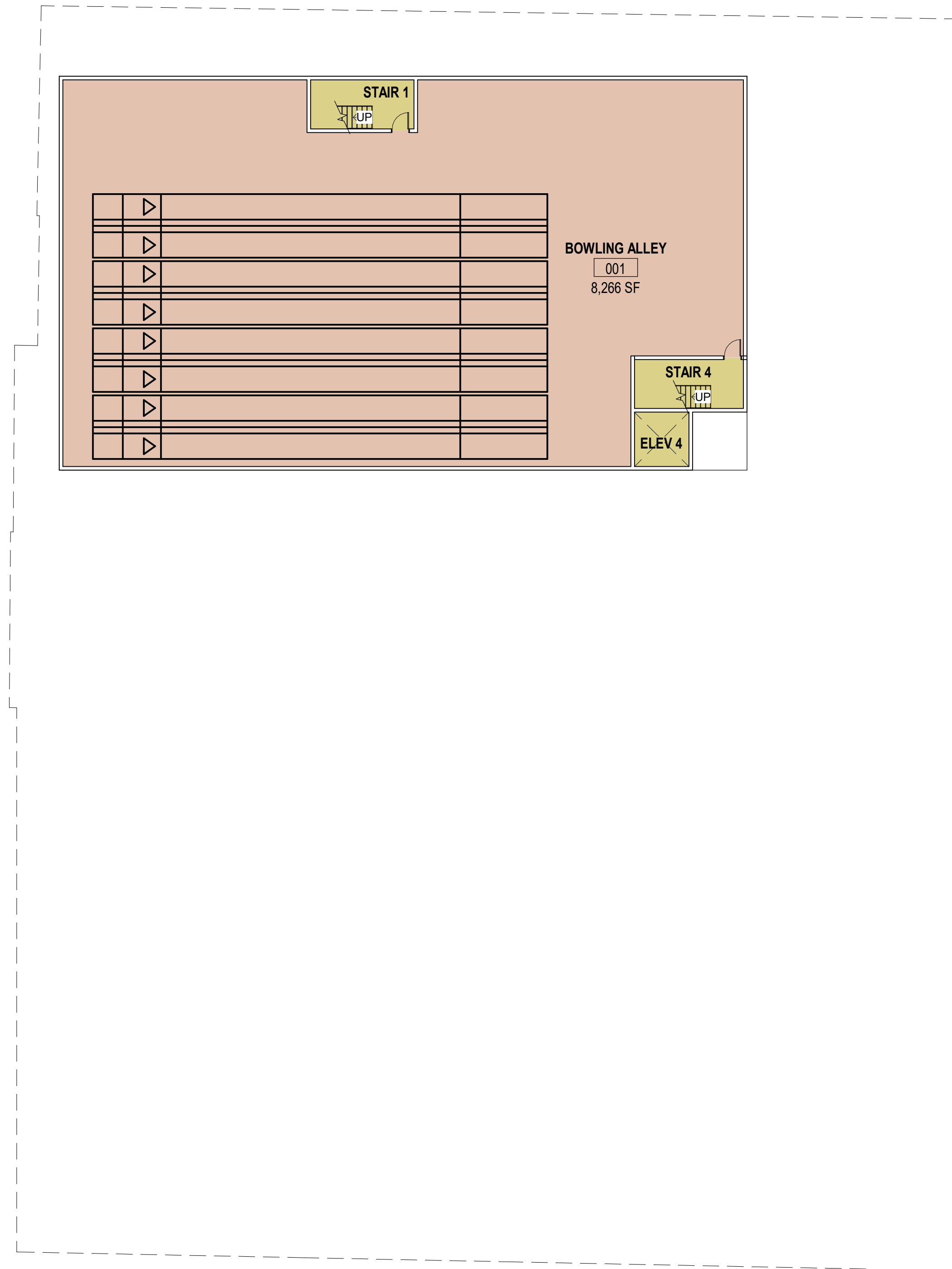
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12.17.21

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A1.01



1 OVERALL PLAN - BASEMENT
Scale: 1/16" = 1'-0"



2 OVERALL PLAN - LEVEL 1
Scale: 1/16" = 1'-0"

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Architect of Record:



Drawn: HV

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1 OVERALL PLAN - LEVEL 2
Scale: 1/16" = 1'-0"



2 OVERALL PLAN - LEVEL 3
Scale: 1/16" = 1'-0"

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1 OVERALL PLAN - LEVEL 4
Scale: 1/16" = 1'-0"



2 OVERALL PLAN - LEVEL 5 , LEVEL 6 SIMILAR
Scale: 1/16" = 1'-0"

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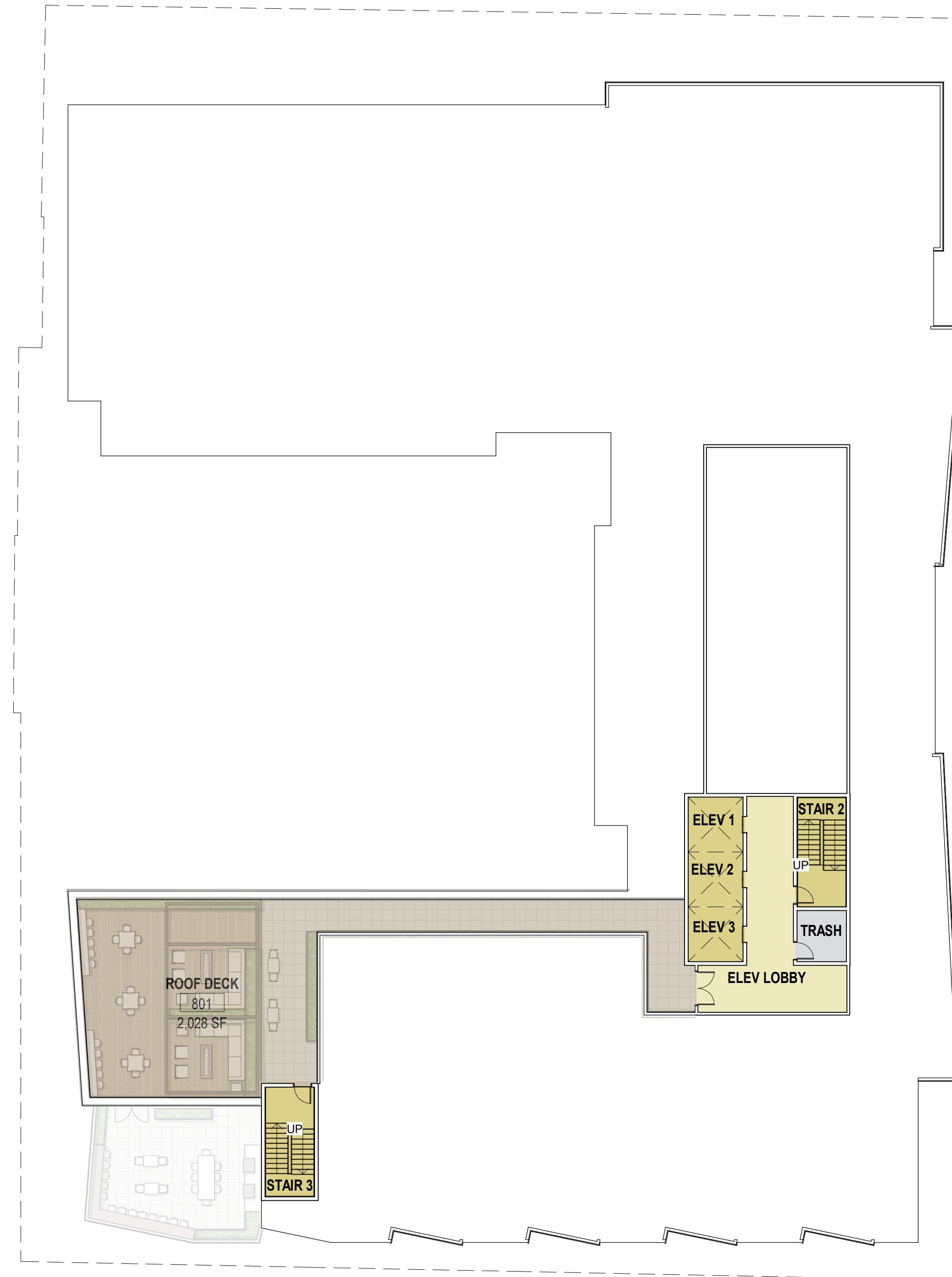
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1 OVERALL PLAN - LEVEL 7
Scale: 1/16" = 1'-0"



2 OVERALL PLAN - ROOF
Scale: 1/16" = 1'-0"

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GREEN STREET ELEVATION



GOLD STREET ELEVATION



PLYMOUTH STREET ELEVATION



REAR ELEVATION

tat

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EXTERIOR
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